



CITY OF BAINBRIDGE ISLAND

DESIGN REVIEW BOARD **Regularly Scheduled Meeting** **Monday, October 5, 2015 at 2:00 p.m.**



Location:
Bainbridge Island City Hall
City Council Conference Room
280 Madison Avenue North
Bainbridge Island, Washington 98110

AGENDA

- | | |
|-------------------------|---|
| 2:00 p.m. | Call to Order (Attendance, Agenda, Ethics) |
| 2:00 – 2:15 p.m. | Approval of Minutes
September 21, 2015 meeting |
| 2:15 – 2:30 p.m. | COBI Waterfront Park PLN11804 SPR Site Plan Review
Discussion with project manager prior to applicant review
Project Manager: Heather Beckmann |
| 2:30 – 3:30 p.m. | COBI Waterfront Park PLN11804 SPR Site Plan Review
Review with applicant representative: Mark Epstein
Site location: 301 Shannon Drive
Upland improvement to Waterfront Park to include clearing and grubbing, grading, paved pathways and social areas, a picnic pavilion, utility improvement and site furnishings. |
| 3:30 – 4:00 p.m. | Old and New Business |
| 4:00 p.m. | Adjournment |

For special accommodations, please contact Jane Rasely, Planning & Community Development
206-780-3758 or at jrasely@bainbridgewa.gov



CITY OF BAINBRIDGE ISLAND

DESIGN REVIEW BOARD

Regularly Scheduled Meeting Minutes

Monday, September 21, 2015 at 2:00 p.m.

City Council Conference Room

280 Madison Ave N

Bainbridge Island, Washington 98110

Call to Order (Attendance, Agenda, Ethics)

Approval of Minutes – September 21, 2015 Meeting

Discussion with City Attorney: Public Records / Public Meetings - Lisa Marshall (City Attorney)

Board Discussion of the Ericksen Avenue Design Guidelines - Piper and Jon Thornburg (Guest Speakers)

Board Discussion on Enhancing Design Review Board Processes and Interfacing with Other Committees

Old and New Business

Adjournment

Call to Order (Attendance, Agenda, Ethics)

Chair Alan Grainger called the meeting to order at 2:13 PM. Other Design Review Board (DRB) members present were Chuck Depew and Jim McNett. Peter Perry arrived later and Susan Bergman was absent. City Staff in attendance were City Attorney Lisa Marshall, Planning Manager Joshua Machen and Administrative Specialist Nan Gladstein who monitored recording. Administrative Specialist Jane Rasely was not in attendance but prepared the minutes from the recording. Mr. Grainger disclosed that he had a business relationship with guest Jon Thornburgh's mother and Mr. McNett stated that he has had previous discussions with Jon Thornburgh regarding historic preservation.

Approval of Minutes – September 21, 2015 Meeting

Minutes were approved unanimously.

Discussion with City Attorney: Public Records / Public Meetings - Lisa Marshall (City Attorney)

Ms. Marshall gave a presentation regarding the Public Open Meetings Act (see attached copy of presentation) highlighting e-mail discussions and which topics were okay to e-mail as a quorum (i.e., attendance, running late or proposed topics of discussion for meetings, etc.) and when it was not okay to e-mail the entire DRB (i.e., project review). She also defined the difference between a "regular" meeting and a "special" meeting. Mr. Grainger asked whether a project's developer(s) could be excluded from the DRB's review of their project with the assigned Planner. Ms. Marshall stated the developer(s) did not have to miss that portion of the meeting and if they wanted to stay, they would be within their legal rights to do so.

Ms. Marshall continued her presentation with information about Washington State's Public Records Act. She stated this law had a very broad reach and cautioned the DRB to use ONLY their COBI Committee e-mail addresses. The DRB members did not have any questions. Mr. Schmid asked about a citizen speaking to a City

Council member one on one. Ms. Marshall stated that as long as their conversation was not about a quasi-judicial matter, it would be possible to speak one on one.

Board Discussion of the Ericksen Avenue Design Guidelines - Piper and Jon Thornburgh (Guest Speakers)

Jon and Piper Thornburgh, Bill Ransom, Deb Fenwick (Ericksen Avenue Property Owners) and David Williams from the Historic Preservation Commission were introduced before Mr. Thornburgh began his presentation (see attached copy). He distributed a copy of the current Ericksen Avenue Guidelines Overlay to the DRB. He outlined his concern that it was more difficult to preserve and maintain the historic buildings than take them down. He felt the overarching principle was not very supported by the actual guidelines. Discussion continued with a real life example presented in the form of a future project Mr. and Ms. Thornburgh were considering. The DRB and Mr. Machen weighed in on the process for changing the Ericksen Avenue Guidelines with the overall consensus being there was not enough strength to the argument for changing them. There was general concern about owner turnover where the new owners may not be interested in keeping the historical nature/feel of Ericksen and perhaps there need to be incentives to retain the older building. Mr. Williams questioned the 30 foot setup back and what its purpose was. Mr. Machen stated it may have come from the 30% view requirement from the 1996 Shoreline Master Program. Conversation also canvassed the idea of the DRB recommending a Variance Permit for a project that meets the spirit of the guidelines without meeting the technical aspects of the guidelines. The words “should” and “shall” were debated. Ms. Thornburgh mentioned that Mayor Blair advised them to come to the Historic Preservation Commission (HPC) and DRB as a starting point to changing the word “shall” in the Ericksen Avenue Guidelines to “should.”

Board Discussion on Enhancing Design Review Board Processes and Interfacing with Other Committees

Mr. Depew gave a recap of previous discussions regarding overlap of Citizen Commission work. He presented a draft letter to City Council. Mr. Grainger recommended the letter be addressed to Kathy Cook. Everyone agreed. It was decided that Mr. Depew would re-draft the letter and address it to Kathy and that he would ask to discuss the contents of the letter at one of the next two DRB meetings.

Old and New Business

None.

Adjournment

Meeting was adjourned at 4:30 PM.

Approved by:

Alan Grainger, Chair

Jane Rasely, Administrative Specialist



CITY OF BAINBRIDGE ISLAND

Department of Planning & Community Development

280 Madison Avenue North, Bainbridge Island, WA 98110

Phone: 206-842-2552 Email: pcd@bainbridgewa.gov

Website: www.bainbridgewa.gov

Portal: <https://ci-bainbridgeisland-wa.smartgovcommunity.com/portal>

APPLICATION - PAGE 1

DATE STAMP

City of Bainbridge Island

JUL 29 2015

Planning and
Community Development

DATE SUBMITTED 07/29/2015		PROJECT NUMBER PLN11804 SPR	
PROJECT NAME CoBI WATERFRONT PARK			
PROJECT TYPE Site Plan Review			
PROJECT ADDRESS OR ACCESS STREET 301 Shannon Drive			
TAX PARCEL NUMBER(S) 41140020010000			
REVISIONS RECEIVED:			
FEE HISTORY		AMOUNT	PAID
Site Plan Review		\$8,586.00	

PROJECT DESCRIPTION

PRIMARY FILE. Upland improvement to Waterfront Park which includes clearing and grubbing, grading, paved pathways and social areas, a picnic pavilion, utility improvements and site furnishings. Please note that this site plan review is being done in conjunction with a shoreline substantial development permit (PLN11804 SSSP).

Design Review Board: date and time to be determined.

PEOPLE ASSOCIATED WITH CASE

COBI PROJECT MANAGER

HEATHER BECKMANN -- PHONE: 206-780-3754 E-MAIL: hbeckmann@bainbridgewa.gov

OWNER

CITY OF BAINBRIDGE ISLAND, Mark Epstein, Engineering, 280 Madison Avenue North, Bainbridge Island, WA 98110

Phone: 206-842-2016

E-MAIL: mepstein@bainbridgewa.gov

CONTACT

MARK EPSTEIN, City Of Bainbridge Island, Engineering, 280 Madison Avenue North, Bainbridge Island, WA 98110

Phone: 206-842-2016

E-MAIL: mepstein@bainbridgewa.gov

CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

FORM MUST BE COMPLETED IN INK, PREFERABLY BLUE.

PENCIL WILL NOT BE ACCEPTED.



DATE STAMP FOR CITY USE ONLY City of Bainbridge Island JUL 29 2015 Planning and Community Development	<u>TO BE FILLED OUT BY APPLICANT</u> PROJECT NAME: WATERFRONT PARK IMPROVEMENTS TAX ASSESSOR'S NUMBER: 4114-002-001-0000 PROJECT STREET ADDRESS OR ACCESS STREET: 309 SHANNON DR. SE ENVIRONMENTAL CHECKLIST SUBMITTED: ☒ YES ☐ NO <u>FOR CITY USE ONLY</u> FILE NUMBER: PLN/11804 SPR PROJECT NUMBER: 11804 DATE RECEIVED: 7.29.2015 APPLICATION FEE: \$8586.00 TREASURER'S RECEIPT NUMBER:
---	--

SUBMITTAL REQUIREMENTS	
APPLICATION	<i>One original (which must contain an original signature) and six copies</i> must be provided. Whenever possible, originals must be <i>signed in blue</i> . Please identify the original document.
SUPPORTING DOCUMENTS	<i>One original (which must contain an original signature)</i> , where applicable, and <i>six copies</i> (if an original is not applicable, <i>seven copies</i> must be provided).
FULL-SIZE DRAWINGS	<i>Seven copies</i> of the required drawings must be provided. Drawings <i>must be folded and 18" x 24"</i> in size. <i>No construction drawings or other sized drawings</i> will be accepted unless specifically requested.
REDUCED DRAWINGS	<i>Five copies</i> of the drawings reduced to 11" x 17" must be provided.
SUBMITTING APPLICATIONS	Applications <i>must be submitted in person</i> by either the owner or the owner's designated agent. Should an agent submit the application, a <i>notarized Owner/Agent Agreement</i> must accompany the application. Please call (206) 780-3762 to make an appointment to submit your application.
FEES	Please call the Department of Planning & Community Development for submittal fee information.
ATTACHED SUBMITTAL CHECKLIST	Please refer to attached Submittal Checklist for further information. NOTE: when submitting this application, please do not copy or include the Submittal Checklist sheets attached to the back of this application.

APPLICATIONS WILL NOT BE ACCEPTED

unless these basic requirements are met and the submittal packet is deemed counter complete.

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
280 MADISON AVENUE NORTH • BAINBRIDGE ISLAND, WA • 98110-1812
PHONE: (206) 842-2552 • FAX: (206) 780-0955 • EMAIL: pcd@bainbridgewa.gov
www.ci.bainbridge-isl.wa.us

CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

FORM MUST BE COMPLETED IN INK, PREFERABLY BLUE.
PENCIL WILL NOT BE ACCEPTED.



A. GENERAL INFORMATION

1. Name of property owner: City of Bainbridge Island
Address: 280 Madison Ave. N
Phone: 206-842-2016 Fax: _____
E-mail: mepstein@bainbridgewa.gov

Name of property owner: _____
Address: _____
Phone: _____ Fax: _____
E-mail: _____

Name of property owner: _____
Address: _____
Phone: _____ Fax: _____
E-mail: _____

*If the owner(s) of record as shown by the county assessor's office is (are) not the agent,
the owner's (owners') signed and notarized authorization(s) must accompany this application.*

2. Applicant/agent: Mark Epstein, Engineering Project Manager
Address: _____
Phone: _____ Fax: _____
E-mail: _____

3. Name of land surveyor: _____
Address: _____
Phone: _____ Fax: _____
E-mail: _____

4. Planning department personnel familiar with site: Heather Beckmann

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
280 MADISON AVENUE NORTH • BAINBRIDGE ISLAND, WA • 98110-1812
PHONE: (206) 842-2552 • FAX: (206) 780-0955 • EMAIL: pcd@bainbridgewa.gov
www.ci.bainbridge-isl.wa.us

CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

FORM MUST BE COMPLETED IN INK, PREFERABLY BLUE.
PENCIL WILL NOT BE ACCEPTED.



5. Description of proposal: Upland improvement to Waterfront park
includes clearing, & grubbing, grading, paved pathways & social areas, picnic
Pavilion, utility improvements and site furnishings.

6. Driving directions to site: head south on Madison, south of Winslow Way,
east (left) on Bjune Dr, right on Brien Dr, Park on the south (right)

7. Please give the following existing parcel information:

Assessor's Parcel Number	Parcel Owner	*Lot Area
4114-002-001-0000	COBI	5.4 ac
Use additional sheet if necessary	Total of all parcels:	5.4

** As defined in Bainbridge Island Municipal Code 18.12.050*

8. Legal description (or attach): STAFFORD'S ADDN TO WINSLOW
PTN BLKS 2 & 3 & 4 & 5 & 6 CNVYD BY AUD NO.1077094 & 95 DAF,
LOT 1 THRU 6 & 9 BLK 2, LOTS 2 THRU 7 BLK 3, LOTS 1 THRU 3 &
LOTS 13 THRU 15 BLK 4 & PTN LOT 12 LY ELY OF FDL, BEG 14FT
WLY OF SE COR TH NLY ALG LN PLT ELY LN SD LOT 80FT TH
NWLY IN STRT LN TO MOST WLY COR & TERM LN, LOTS 6 THRU 11
& 13 & 14 BLK 5, & LOT 1 BLK 6 SUBJ TO ESMTS

9. Current comprehensive plan, zoning and shoreline designations and use of subject parcel(s):

Lot Number	Comp Plan Designation	Zoning Designation	Shoreline Designation	Current Use
Lot 001	Mix use/ town ctr	Core	Island conservancy	Park
Lot				

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
280 MADISON AVENUE NORTH • BAINBRIDGE ISLAND, WA • 98110-1812
PHONE: (206) 842-2552 • FAX: (206) 780-0955 • EMAIL: pcd@bainbridgewa.gov
www.ci.bainbridge-isl.wa.us

CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

FORM MUST BE COMPLETED IN INK, PREFERABLY BLUE.
PENCIL WILL NOT BE ACCEPTED.



Lot				
Lot				

10. Current comprehensive plan, zoning and shoreline designations and use of adjacent properties:

Property	Comp Plan Designation	Zoning Designation	Shoreline Designation	Current Use
North	core	core	n/a	park
South	core	core	Isl consrv	Eagle harbor
East	core	core	urban	Residential/commercial
West	core	core	urban	Residential

11. Common name of adjacent water area or wetlands area: Eagle Harbor

12. Does the site contain an environmentally sensitive area as defined in Critical Areas Ordinance (*Bainbridge Island Municipal Code* Chapter 16.20)?

☐ yes ☒ no ☐ unknown

If yes, check as appropriate:

☐ wetland*	☐ geologically hazardous area**
☐ wetland buffer*	☐ zone of influence**
☐ stream*	☐ slope buffer**
☐ stream buffer*	☐ fish and wildlife habitat area

* If your site includes a wetland or wetland buffer, a wetland report is required with your application.

** If your site includes a geologically hazardous area or is within the zone of influence as defined in *Bainbridge Island Municipal Code* 16.20, a geotechnical report may be required with your application.

13. Are there underlying/overlying agreements on the property? ☐ yes ☒ no ☐ unknown

If yes, check as appropriate and provide a copy of the decision document:

☐ CUP Conditional Use Permit	☐ SPR Site Plan Review
☐ MPD Master Planned Development	☐ SPT Short Plat
☐ PUD Planned Unit Development	☐ SSDP Shoreline Permit
☐ REZ Contract Rezone	☐ SUB Prior Subdivision
☐ RUE Reasonable Use Exception	☐ VAR Zoning Variance
	☐ Other:

Under which jurisdiction was the approval given?

☐ City of Bainbridge Island ☐ Kitsap County

Approval date: _____

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
280 MADISON AVENUE NORTH • BAINBRIDGE ISLAND, WA • 98110-1812
PHONE: (206) 842-2552 • FAX: (206) 780-0955 • EMAIL: pcd@bainbridgewa.gov
www.ci.bainbridge-isl.wa.us

CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

FORM MUST BE COMPLETED IN INK, PREFERABLY BLUE.

PENCIL WILL NOT BE ACCEPTED.



14. Is there any other information which is pertinent to this project? ☐ yes ☒ no

If yes, please explain: _____

B. TECHNICAL INFORMATION

1. Name of water purveyor: City

If a private well, what class? _____

2. Type of sewage disposal: ☐ on-site septic ☐ off-site septic ☐ sewer
Sewer district: ☒ City of Bainbridge Island ☐ Sewer District 7

3. General description of the existing terrain: Gently sloping terrain to the south toward Eagle Harbor

4. Soil survey classification: Kapowsin

5. Flood plain designation: ☐ X ☒ AE

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
280 MADISON AVENUE NORTH • BAINBRIDGE ISLAND, WA • 98110-1812
PHONE: (206) 842-2552 • FAX: (206) 780-0955 • EMAIL: pcd@bainbridgewa.gov
www.ci.bainbridge-isl.wa.us

CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

FORM MUST BE COMPLETED IN INK, PREFERABLY BLUE.

PENCIL WILL NOT BE ACCEPTED.



6. Access (street functional road classifications):

Street Type	Required ROW Width	Street Name	Existing ROW Width
primary arterial	150 feet		
secondary arterial	60 feet		
collector	50 feet		
residential urban	40 feet	Brien, Shannon	40
residential suburban	30 feet		
private	20 - 30 feet		

7. Sidewalks are adjacent to the parcel:

☒ yes ☐ noIf yes, existing sidewalks are 5 feet wide.

Sidewalk installation is proposed as part of the development project:

☒ yes ☐ no

Proposed sidewalks:

☒ adjacent to the parcel and are to be6-8' feet wide.☒ internal to the proposal and are to be5-8' feet wide.

8. Intended use of the land, as well as the sequence and timing of the proposed development:

No change in use. Timing for construction is proposed for September –
December 2015.

9. Floor area ratio:

N/A

10. Dimensions of proposed structures:

18 x 35 picnic pavilion

11. Height of proposed buildings or structures:

15 feet

12. Square footage of all spaces:

storage:

retail:

residential:

office:

other:

63013. Number of stories proposed: one14. Square feet per story: (1)630 (2) (3)

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
 280 MADISON AVENUE NORTH • BAINBRIDGE ISLAND, WA • 98110-1812
 PHONE: (206) 842-2552 • FAX: (206) 780-0955 • EMAIL: pcd@bainbridgewa.gov
www.ci.bainbridge-isl.wa.us

CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

FORM MUST BE COMPLETED IN INK, PREFERABLY BLUE.

PENCIL WILL NOT BE ACCEPTED.



15. Setback requirements:

north:	<u>N/A</u>	south:	<u>30'</u>
east:	<u>N/A</u>	west:	<u>N/A</u>

16. Number of parking stalls required: none

17. Number of parking stalls proposed: 5

18. Amount of square footage of proposed paved areas: 6,500

19. Square footage of building area: 630

20. Percent of site to be covered by impervious surfaces: 11%

(If the proposal results in more than 1,000 square feet of additional impervious surface, a drainage plan shall be required.)

21. Percentage of site to be covered by landscaping: 89%

22. Percentage of parking area to be covered by landscaping: 0%

23. Percentage of site to remain undeveloped: 100%

24. Is the applicant proposing any terms, conditions, covenants and agreements or other documents regarding the intended development: (If yes, attach copies)

☐ yes ☒ no ☐ unknown

25. List any other permits for this project from state, federal or local governmental agencies for which you have applied or will apply, including the name of the issuing agency, whether the permit has been applied for, and if so, the date the application was approved or denied, and the application or permit number:

26. Will the completed project result in 800 or more square feet of impervious surface

(building footprint + driveways + parking)?

☒ yes ☐ no ☐ unknown

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
280 MADISON AVENUE NORTH • BAINBRIDGE ISLAND, WA • 98110-1812
PHONE: (206) 842-2552 • FAX: (206) 780-0955 • EMAIL: pcd@bainbridgewa.gov
www.ci.bainbridge-isl.wa.us

CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

FORM MUST BE COMPLETED IN INK, PREFERABLY BLUE.
PENCIL WILL NOT BE ACCEPTED.



27. Will the project result in clearing more than six significant trees or 2,500 square feet of ground?
☒ yes ☐ no ☐ unknown
28. Do storm water systems exist on the site? ☒ yes ☐ no ☐ unknown
If yes, were they constructed after 1982? ☐ yes ☐ no ☒ unknown
If yes, what type of storm water system exists on the site?
☐ infiltration ☐ open ditching ☒ closed conveyance ☐ detention
29. Will the completed project result in excavating of or filling in:
☐ less than 50 cubic yards. ☐ more than 50 cubic yards but less than 100 cubic yards. ☒ more than 100 cubic yards.

I hereby certify that I have read this application and know the same to be true and correct.

Mark Epstein
*Signature of owner or authorized agent

7/20/2015
Date

MARK EPSTEIN
Please Print

**If signatory is not the owner of record, the attached "Owner/Agent Agreement" must be signed and notarized.*

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
280 MADISON AVENUE NORTH • BAINBRIDGE ISLAND, WA • 98110-1812
PHONE: (206) 842-2552 • FAX: (206) 780-0955 • EMAIL: pcd@bainbridgewa.gov
www.ci.bainbridge-isl.wa.us



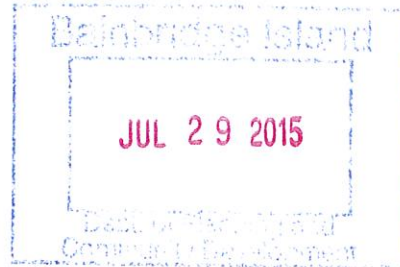
City of Bainbridge Island
PUBLIC WORKS DEPARTMENT
MEMORANDUM

TO: Heather Beckmann

FROM: Mark Epstein

DATE: July 29, 2015

RE: WATERFRONT PARK PROJECT
PLN11804SPR & PLN11804SSDP
Shoreline Permit Decision Criteria



Overview

Waterfront Park, an existing 5.5 acre park in downtown Winslow, is one of the most popular civic and social gathering places for island residents and visitors alike. It welcomes annual festivals, summer performances, special events, picnics, and more. The park provides sunny lawn areas for play and relaxation and access to the water's edge for boating and tranquil views of Eagle Harbor. The park also supports a tennis court (now converted to BI Rowing Club boat storage), a sport court, children's play area, a restroom, and a public dock and boat launch.

The purpose of the Waterfront Park Project is to provide accessible pathways within the park and to the shoreline, improve stormwater treatment, and provide increased public recreational activities. Proposed upland improvements would include clearing & grubbing, grading, paved pathways & social areas, a picnic/performance pavilion, utility improvements, a six-vehicle parking area, site furnishings, and new plantings. No work will occur at or below ordinary high water (OHW), however shoreline regulations apply to any development proposal within 200 feet of the OHW. This memo details how the proposed development is consistent with applicable policies, guidelines, and regulations of the Shoreline Management Act and the City of Bainbridge Island shoreline master program.

Title 173 WAC – Department of Ecology

The proposal is consistent with applicable provisions of Chapters 173-26 and 173-27 of the WAC. The park is a public recreational use that provides public access to the shoreline, and is permitted and encouraged under WAC 173-26-241(i).

City of Bainbridge Island Shoreline Master Program (SMP) and Municipal Code (BIMC)

BIMC 16.12.020 (B)(4) Island Conservancy

Invasive plants will be removed and replanted with native species. Ninety percent of the existing trees will remain and tree canopy cover will not be reduced. Native American middens have been identified and will be conserved in coordination with the Suquamish Tribe.

BIMC 16.12.030 General (island-wide) regulations.

Public Park/Recreational Development in this designation allows public pathways to the shorelines, public stairways, and upland appurtenant structures that support water-oriented active and passive recreational uses. The picnic pavilion is under 20 feet in height and outside the 75-foot setback requirement.

BIMC 16.12.030.B.2 Environmental Impacts.

Park improvements were designed to avoid or minimize potential adverse impacts. The only development proposed within the 150' shoreline buffer is a six-foot wide accessible path to the shoreline and city dock.

BIMC 16.12.030.B.3 Vegetation Management.

Ecological functions would be modestly improved by removing invasive species and replanting with native species in the 150' shoreline buffer, as well as a series of raingardens to improve treatment of stormwater. Some existing trees will be pruned to reduce hazard risks and improve tree structure and health. A planting plan prepared by a licensed landscape architect is included in the application.

BIMC 16.12.030.B.5 Water Quality and Stormwater Management.

The project would provide a series of raingardens and other low impact techniques for treating, infiltrating, and dispersing stormwater. Storm overflows would be conveyed to an outlet below OHW in Eagle Harbor.

BIMC 18.15.010 Tree Retention and Protection.

A total of 32 trees will be removed, 25 of them assessed as dead or dying by a certified arborist. The seven other trees will be compensated for with new trees. More than 250 existing trees would remain, and existing tree canopy would not be affected by the tree removal. An arborist's inventory and analysis of affected trees is included in the application. Tree units after the project is completed is well in excess of 30 units/acre.

Eagle Harbor Waterfront Park

100% Design Development Set
04/29/2015



WALKER | MACY

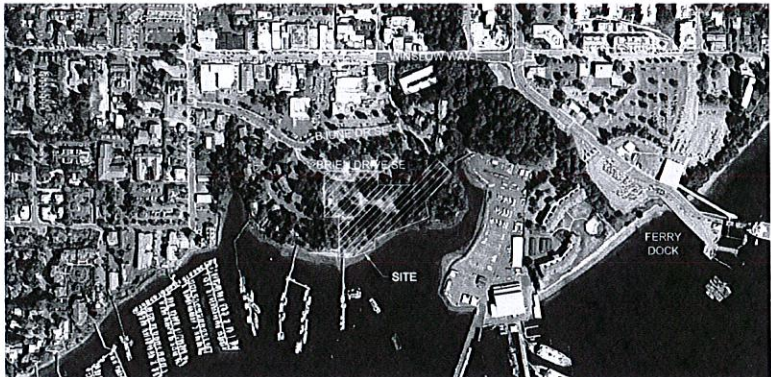
EAGLE HARBOR
WATERFRONT
PARK
BAINBRIDGE ISLAND, WA

PROJECT TEAM

OWNER: City of Bainbridge Island 280 Madison Avenue North Bainbridge Island, WA 98110 Ph. 206-780-3721 Contact: Mark Epstein E-mail: mepstein@bainbridgewa.gov	LANDSCAPE ARCHITECT: Walker Macy 105 S. Main Street, Suite 205 Seattle, WA 98104 Ph. 206-582-3874 Contact: Chris Jones E-mail: cjones@walkermacy.com	CIVIL: Browne Wheeler Engineers 241 Ericksen Avenue NE Bainbridge Island, WA 98110 Ph. 206-842-0605 Contact: Kelsey Laughlin E-mail: kelsey@brownewheeler.com	ARCHITECT: Patano Studio Architecture 603 Stewart St. Suite 207 Seattle, WA 98101 Ph. 206-734-3870 Contact: Christopher Patano E-mail: christopher@patanostudio.com	STRUCTURAL: Lund Opsahl 1201 First Avenue South, Suite 310 Seattle, WA 98134 Ph. 206-402-5156 Contact: Adam Slivers E-mail: ASlivers@LundOpsahl.com	ELECTRICAL / LIGHTING: PAE Consulting Engineers / Luma Lighting Design 1501 East Madison Street, Suite 300 Seattle, WA 98122 Ph. 206-596-8606 Contact: Shaun Darragh E-mail: shaund@lumald.com	ENVIRONMENTAL CONSULTANT: Herrera Environmental Consultants 2200 Sixth Avenue, Suite 1100 Seattle, WA 98121 Ph. 206-441-9080 Contact: Kris Lepine E-mail: klepine@herrerainc.com
--	--	---	---	---	--	--

PROJECT SUMMARY

SITE ADDRESS: 301 SHANNON DR SE	PROJECT DESCRIPTION: Waterfront Park
ZONING: XXXXXX	
TAX LOT ID NUMBERS: XXXXXX	GOVERNING AGENCY: City of Bainbridge Island 280 Madison Avenue North Bainbridge Island, WA 98110 Ph. 206-842-7633 Web: www.ci.bainbridge-isl.wa.us



VICINITY MAP

NTS

SHEET INDEX

SITE / LANDSCAPE	CIVIL	ARCHITECTURAL	LIGHTING
CS COVER SHEET	C1 GENERAL NOTES	A0.0 SCHEDULES, ABBREV., SYMBOLS, NOTES	E1.0 LIGHTING PLAN
L101 DEMOLITION PLAN	C2 TEST PLAN & DETAILS	A2.0 FLOOR PLAN	
L201 MATERIALS PLAN	C3 UTILITY PLAN	A2.1 ROOF PLAN, ADD ALT. ROOF PLAN	
L301 LAYOUT PLAN	C4 UTILITY DETAILS	A3.0 ELEVATIONS	
L401 GRADING PLAN		A3.1 ELEVATIONS	
L402 GRADING PLAN ENLARGEMENT		A4.0 SECTIONS	
L500 IRRIGATION SCHEDULE		A4.1 SECTIONS	
L501 IRRIGATION PLAN			
L601 PLANTING PLAN			
L700 SITE DETAILS			
L701 SITE DETAILS			
L702 SITE DETAILS			
L703 STORMWATER DETAILS			
L704 SITE FURNISHING DETAILS			
L705 IRRIGATION DETAILS			
L706 PLANTING DETAILS			

City of Bainbridge Island

JUL 29 2015

Planning and
Community Development

NOT FOR CONSTRUCTION

COVER SHEET

CS

GENERAL NOTES

1. UNLESS OTHERWISE SPECIFIED, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENTLY ADOPTED EDITION OF "STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION" APWA/WSOOT EXCEPT AS MODIFIED BY THE CITY OF BAINBRIDGE ISLAND IN THE CURRENT EDITION OF "DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS".
2. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES AND OTHER FEATURES ON THE PLAN ARE APPROXIMATE AND MAY NOT BE COMPLETE. ACTUAL LOCATIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AS REQUIRED.
3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR WORKER SAFETY. ALL TRENCHING AND OTHER ACTIVITIES SHALL BE IN ACCORDANCE WITH STATE AND LOCAL SAFETY REGULATIONS AND REQUIREMENTS.
4. A COPY OF THE APPROVED PLANS AND OTHER APPLICABLE SPECIFICATIONS AND DRAWINGS SHALL BE ON-SITE DURING CONSTRUCTION.
5. CONTRACTOR SHALL OBTAIN AN UNDERGROUND UTILITIES LOCATE PRIOR TO BEGINNING CONSTRUCTION (UNDERGROUND UTILITIES LOCATION SERVICE: 1-800-424-5555).
6. CONTRACTOR SHALL INSTALL, REPLACE OR RELOCATE ALL SIGNS AND OTHER FEATURES AFFECTED BY CONSTRUCTION.
7. CONTRACTOR SHALL APPLY FOR AND OBTAIN AN APPROVED PERMIT FOR WORK IN THE RIGHT-OF-WAY PRIOR TO ANY WORK IN THE RIGHT-OF-WAY.
8. CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH CITY STAFF PRIOR TO ANY WORK ON CITY RIGHTS-OF-WAY.
9. ANY REVISIONS TO THE PLANS SHALL BE REVIEWED AND APPROVED BY THE BAINBRIDGE ISLAND ENGINEERING DEPARTMENT PRIOR TO IMPLEMENTATION IN THE FIELD.
10. SIGNING, FLAGGING AND TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE WSDOT TRAFFIC MANUAL AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. THE PLAN SHALL BE PROVIDED TO THE CITY FOR APPROVAL IF APPLICABLE.
11. ALL PIPE AND OTHER MATERIAL STORED ALONG CITY RIGHT-OF-WAY MUST BE PLACED AT A SAFE DISTANCE FROM THE TRAVELED ROADWAY IN SUCH A MANNER AS TO AVOID FALLING ONTO THE ROADWAY.
12. MAXIMUM LENGTH OF OPEN TRENCH ON STREETS SHALL BE 400 FEET. AT THE END OF EACH DAY, ALL TRENCHES MUST BE BACKFILLED OR COVERED WITH STEEL PLATES OR BARRICADED WITH FLASHING WARNING LIGHTS.
13. ALL PIPE TRENCH BACKFILL SHALL BE IN ACCORDANCE WITH THE WSDOT/APWA SPECIFICATIONS FOR PIPE BEDDING AND BANK RUN GRAVEL IF PROPER COMPACTION CANNOT BE OBTAINED USING NATIVE SOIL. EXCEPT AS NOTED ON PLAN.
14. POWER, TELEVISION CABLE, AND COMMUNICATIONS LINES SHALL BE INSTALLED WITH A MINIMUM OF FIVE FEET HORIZONTAL SEPARATION FROM PUBLIC WATER, SEWER AND STORM DRAINAGE FACILITIES.

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL APPLY ALL MEASURES NECESSARY TO PREVENT THE DISCHARGE OF SEDIMENT-LADEN WATER OFF THE PROJECT SITE. FACILITIES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS.
2. THE CONTRACTOR SHALL INSPECT AND MAINTAIN ALL EROSION CONTROL FACILITIES REGULARLY, PARTICULARLY DURING AND FOLLOWING LARGE STORMS.
3. ALL STREETS ADJACENT TO THIS PROJECT SHALL BE KEPT CLEAN OF ALL MATERIAL DEPOSITS RESULTING FROM CONSTRUCTION.
4. SITE WORK SHALL BE SCHEDULED TO MINIMIZE THE EXPOSURE OF DISTURBED SOILS. ALL EXPOSED AND UNWORKED SOILS, INCLUDING SOIL STOCKPILES, SHALL BE STABILIZED BY SUITABLE APPLICATION OF BMPs THAT PROTECT SOIL FROM THE EROSION FORCES OF RAINDROPP IMPACT AND FLOWING WATER. APPLICABLE PRACTICES INCLUDE, BUT ARE NOT LIMITED TO: VEGETATIVE ESTABLISHMENT, MULCHING, PLASTIC COVERING, AND THE EARLY APPLICATION OF GRAVEL BASE ON AREAS TO BE PAVED. FROM OCTOBER 1 THROUGH APRIL 30, NO SOILS SHALL REMAIN EXPOSED FOR MORE THAN 2 DAYS. FROM MAY 1 THROUGH SEPTEMBER 30, NO SOILS SHALL REMAIN EXPOSED FOR MORE THAN 7 DAYS.
5. CARE SHALL BE TAKEN TO PREVENT ANY DISCHARGE OF SEDIMENT-LADEN WATER INTO THE STORMWATER DISPERSION SYSTEMS. ANY INLETS WHICH RECEIVE RUNOFF SHOULD BE PROTECTED WITH SEDIMENT FILTERS.
6. PETROLEUM PRODUCTS AND OTHER POTENTIAL POLLUTANTS SHALL BE PROTECTED TO PREVENT THEIR INTRODUCTION INTO SITE RUNOFF OR THE STORM DRAINAGE SYSTEM.
7. DEWATERING WATER SHALL BE FILTERED TO REMOVE SEDIMENT AND DISCHARGED IN A MANNER TO AVOID DOWNSTREAM IMPACTS.
8. CLEARING LIMITS, IF SHOWN, SHALL BE CLEARLY FLAGGED PRIOR TO ANY CLEARING OR CONSTRUCTION ON THE SITE. DURING CONSTRUCTION, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
9. ALL TEMPORARY EROSION CONTROL FACILITIES, INCLUDING PERIMETER CONTROLS, SHALL REMAIN IN PLACE UNTIL FINAL SITE CONSTRUCTION IS COMPLETE AND APPROVAL HAS BEEN RECEIVED FROM THE CITY.

STORM DRAINAGE

1. STORM DRAINS SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE (AOS N°2 OR EQUIVALENT) OR PVC (ASTM D3034, SDR 35) UNLESS OTHERWISE NOTED.
2. ALL STORM DRAINS SHOULD BE LAID AT A MINIMUM SLOPE OF 2% (1/4 INCH PER FOOT) UNLESS OTHERWISE NOTED. CARE SHALL BE TAKEN TO MAINTAIN MINIMUM SLOPE.
3. PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF STORM DRAINAGE WORK, PIPES AND STORM DRAIN STRUCTURES SHALL BE CLEANED AND FLUSHED. ANY OBSTRUCTIONS WITHIN THE STORM DRAIN SYSTEM SHALL BE REMOVED AND WASH WATER OF ANY SORT SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM OR SURFACE WATERS.
5. ALL MANHOLES AND CATCH BASINS IN PUBLIC RIGHTS-OF-WAY SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO FINAL PAVING.
6. CURTAIN AND FOOTING DRAINS SHALL BE CONNECTED TO STORM DRAIN SYSTEM AT EITHER A CATCH BASIN OR WHEN 1 VERTICAL FOOT IS MAINTAINED BETWEEN THE LOWEST POINT OF THE FOUNDATION DRAIN INVERT AND THE ELEVATION OF THE STORM DRAIN SYSTEM.

APPROXIMATE GRADING VOLUMES

CUT VOLUME - CUBIC YARDS
FILL VOLUME - CUBIC YARDS



VICINITY MAP



CITY OF BAINBRIDGE ISLAND
280 MADISON AVE. NORTH
BAINBRIDGE ISLAND, WA 98110

WALKER | MACY

BROWNE • WHEELER
ENGINEERS, INC.
241 ERICKSEN AVENUE
BAINBRIDGE ISLAND, WA 98110
P 206 842 0607 INFO@BrowneWheeler.COM

EAGLE HARBOR
WATERFRONT
PARK
BAINBRIDGE ISLAND, WA

PRELIMINARY
NOT FOR CONSTRUCTION



PROJECT NUMBER: WA15-01 P3119.01
DRAWN BY: K. LAUGHLIN
CHECKED BY: D. BROWNE

80% SUBMITTAL

SUBMIT DATE:
6-15-2015

REVISIONS

GENERAL NOTES

BAINBRIDGE ISLAND
JUL 29 2015
DEPT OF PLANNING &
CITY DEVELOPMENT



CITY OF BAINBRIDGE
ISLAND
280 MADISON AVE. NORTH
BAINBRIDGE ISLAND, WA 98110

WALKER MACY

BROWNE • WHEELER
ENGINEERS, INC.
2411 ERICKSEN AVENUE NE
BAINBRIDGE ISLAND, WA 98110
P 206.842.0555 INFO@BrownWheeler.COM

EAGLE HARBOR
WATERFRONT
PARK
BAINBRIDGE ISLAND, WA

PRELIMINARY
NOT FOR CONSTRUCTION



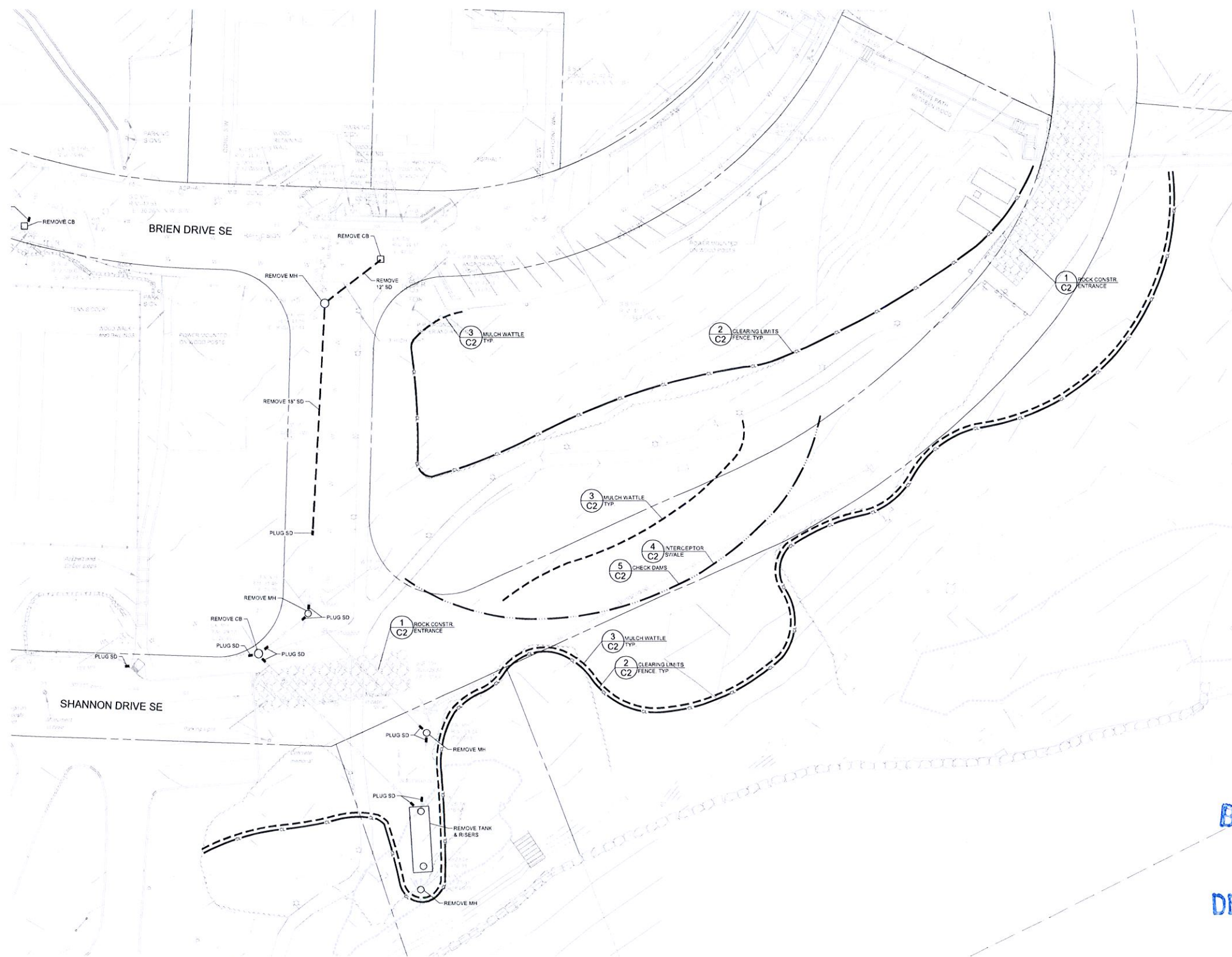
PROJECT NUMBER: WA15-01 P3119.01
DESIGNED BY: K. LAUGHLIN REVIEWED BY: D. BROWNE
PHASE:
80% SUBMITTAL

SUBMIT DATE:
6-15-2015
REVISIONS:

TESC PLAN & DETAILS

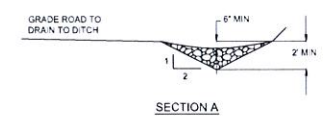
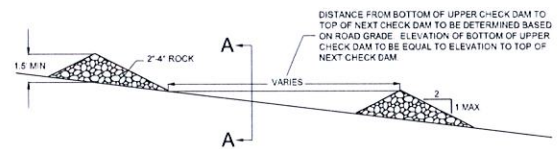
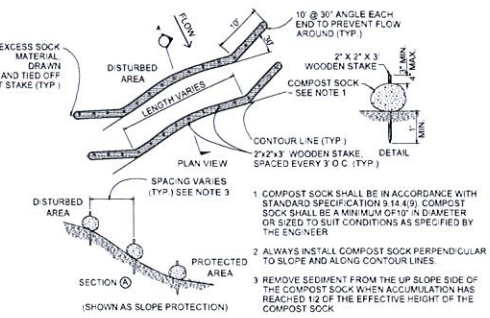
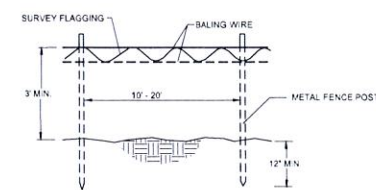
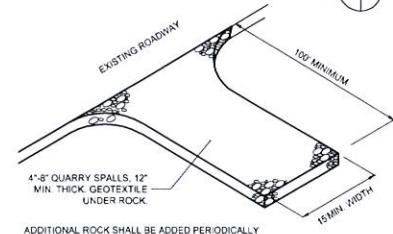
2 OF 4

C2



BAINBRIDGE ISLAND
JUL 29 2015
DEPT OF PLANNING &
CITY DEVELOPMENT

TESC PLAN
SCALE: 1" = 20'
0 5 10 20 40
TOPOGRAPHIC INFORMATION BASED ON SITE SURVEY
PROVIDED BY COBI DATED APRIL 20, 2009.
SITE PLAN FROM WALKER MACY DATED 6/9/2015
DATUM: CITY OF BAINBRIDGE ISLAND VERTICAL CONTROL
NETWORK (NAVD 83)



1
C2
ROCK CONSTRUCTION ENTRANCE
NO SCALE

2
C2
CLEARING LIMITS FENCE
NO SCALE

3
C2
MULCH WATTLE
NO SCALE

4
C2
INTERCEPTOR SWALE
NO SCALE

5
C2
CHECK DAM
NO SCALE



CITY OF BAINBRIDGE ISLAND
280 MADISON AVE. NORTH
BAINBRIDGE ISLAND, WA 98110

WALKER MACY

BROWNE • WHEELER
ENGINEERS, INC.
241 ERICKSEN AVENUE NE
BAINBRIDGE ISLAND, WA 98110
P 206 842 5000 INFO@BROWNEWHEELER.COM

EAGLE HARBOR
WATERFRONT
PARK
BAINBRIDGE ISLAND, WA

PRELIMINARY
NOT FOR CONSTRUCTION



PROJECT NUMBER: WA15-01 P3119.01

DRAWN BY: K. LAUGHLIN CHECKED BY: D. BROWNE

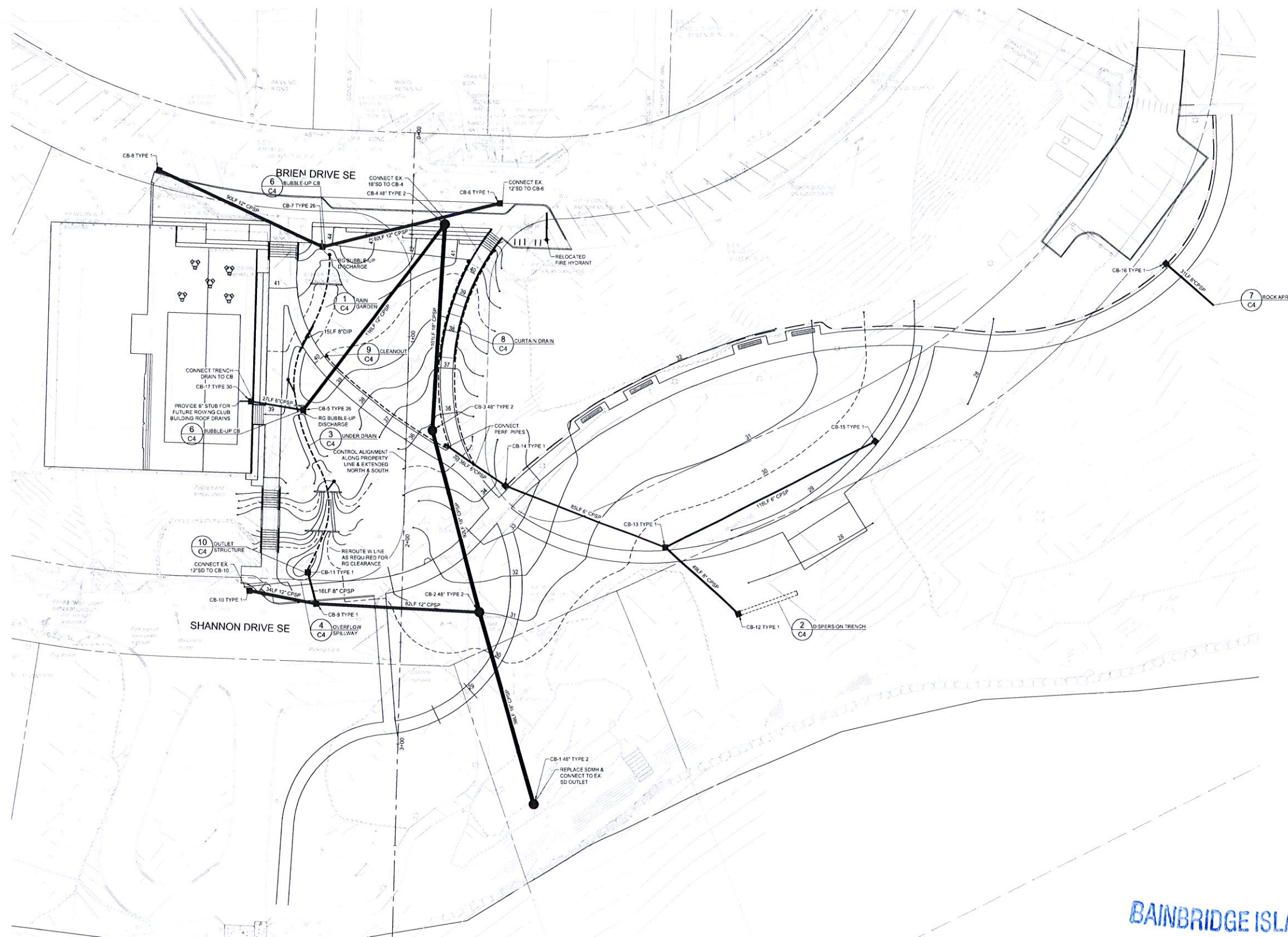
PHASE: 80% SUBMITTAL

ISSUE DATE: 6-15-2015

REVISIONS:

UTILITY PLAN 3 OF 4

C3



SITE PLAN
SCALE: 1" = 30'
TOPOGRAPHIC INFORMATION BASED ON SITE SURVEY
PROVIDED BY COBI DATED APRIL 20, 2006.
SITE PLAN FROM WALKER MACY DATED 6/9/2015
DATUM: CITY OF BAINBRIDGE ISLAND VERTICAL CONTROL
NETWORK (NAVD 88)

BAINBRIDGE ISLAND
JUL 29 2015
DEPT OF PLANNING &
CITY DEVELOPMENT

BIORETENTION NOTES

CONSTRUCTION

1. MINIMIZE COMPACTION OF THE BASE AND SIDEWALLS OF THE BIORETENTION AREA

2. EXCAVATION IS NOT ALLOWED DURING WET OR SATURATED CONDITIONS. EXCAVATION SHOULD BE PERFORMED BY MACHINERY OPERATION ADJACENT TO THE BIORETENTION FACILITY AND NO HEAVY EQUIPMENT WITH NARROW TRACKS, NARROW TIRES, OR LARGE LOGGED HIGH PRESSURE TIRES SHOULD BE USED ON THE BOTTOM OF THE BIORETENTION FILTRATION FACILITY. IF MACHINERY MUST OPERATE IN THE BIORETENTION CELL FOR EXCAVATION, USE LIGHT WEIGHT, LOW GROUND-CONTACT PRESSURE EQUIPMENT AND RIP THE BASE AT COMPLETION TO REFRACURE SOIL TO A MINIMUM OF 12 INCHES

3. THE SIDEWALLS AND BOTTOM SHOULD BE ROUGHENED WHERE SCRAPPED AND SEALED BY EXCAVATION EQUIPMENT. THE BOTTOM OF THE FACILITY SHOULD BE FLAT

4. THE BIORETENTION SOIL MIXTURE SHOULD BE PLACED AND GRADED BY EXCAVATORS AND/OR BACKHOES OPERATING ADJACENT TO THE BIORETENTION FACILITY. IF MACHINERY MUST OPERATE IN THE BIORETENTION CELL FOR SOIL PLACEMENT OR SOIL GRADING, USE LIGHT WEIGHT, LOW GROUND-CONTACT PRESSURE EQUIPMENT. THE SOIL MIXTURE SHOULD BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED 8 INCHES PER LIFT FOR THE ENTIRE AREA OF THE BIORETENTION FACILITY

ENGINEERED SOIL MIX

SOIL MIX:
APPROXIMATELY 3 PARTS GRAVELLY SAND AND 2 PARTS COMPOST BY VOLUME, TO MEET THE SPECIFICATIONS LISTED BELOW:

GRAVELLY SAND	
GRADATION	PERCENT PASSING
1-INCH	100
US NO. 4	60-100
US NO. 10	40-100
US NO. 40	15-55
US NO. 200	5-25
COEFFICIENT OF UNIFORMITY +8	
COEFFICIENT OF CURVE +14X3	

COMPOST	
GRADATION PER TMECC 02-02-B	PERCENT PASSING
1-INCH	100
5/8-INCH	100
1/4-INCH	90

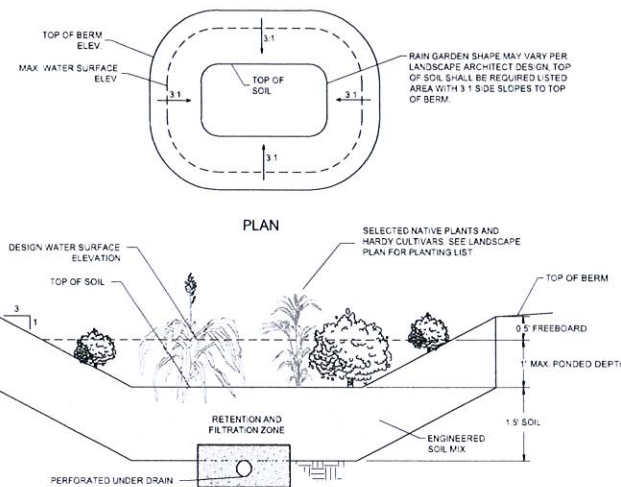
1. pH 5.5-8
2. INERT MATERIAL, +1% BY WEIGHT PER TMECC 03-08-A
3. ORGANIC CONTENT 45%+45% PER TMECC 05-07-A
4. SOLUBLE SALT <4.0 MMHOS/CM PER TMECC 04-10-A
5. MATURITY >80% PER TMECC 05-05-A
6. STABILITY +7 PER TMECC 05-08-B
7. COMPOST SHALL CONSIST OF AT LEAST 65% TYPE I FEEDSTOCKS AND LESS THAN 35% TYPE III FEEDSTOCKS PER WAC 173-350-100
8. CARBON TO NITROGEN <25:1 PER TMECC 04-01

1. MINIMUM INITIAL SOIL MIX HYDRAULIC CONDUCTIVITY ≥ 6.0 INCH/HOUR, ASTM G2414 - STANDARD TEST FOR PERMEABILITY OF GRANULAR SOILS. TESTED AT 85% COMPACTION, PER ASTM D 1557 - STANDARD TEST METHODS FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING MODIFIED EFFORT

2. THE SOIL MIXTURE SHOULD BE UNIFORM FREE OF STONES, STUMPS, ROOTS OR SIMILAR OBJECTS LARGER THAN 2 INCHES

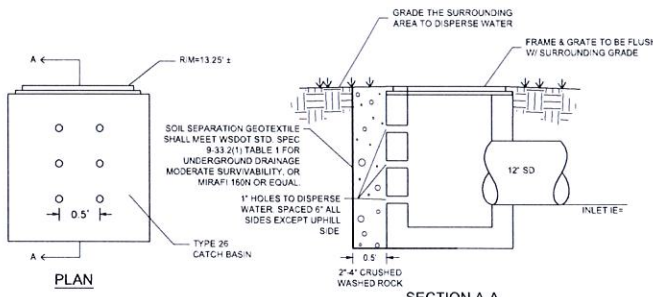
3. ON-SITE SOIL MIXING OR PLACEMENT NOT ALLOWED IF SOIL IS SATURATED OR SUBJECT TO WATER WITHIN 48 HOURS

4. COVER AND STORE SOIL ACCORDINGLY TO PREVENT WETTING OR SATURATION

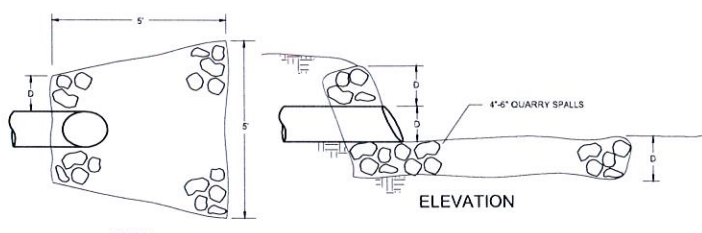


1 RAIN GARDEN
C4 NO SCALE

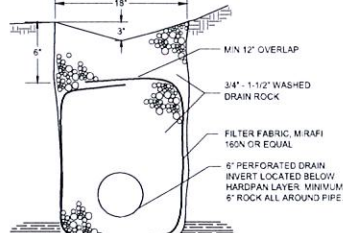
2 DISPERSION TRENCH
C4 NO SCALE



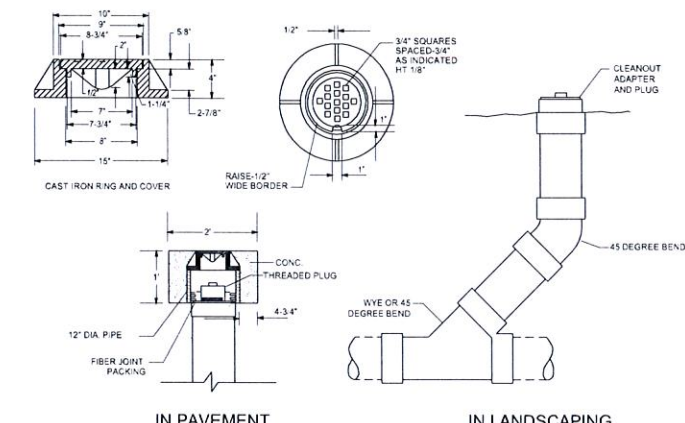
6 BUBBLE-UP CB
C4 NO SCALE



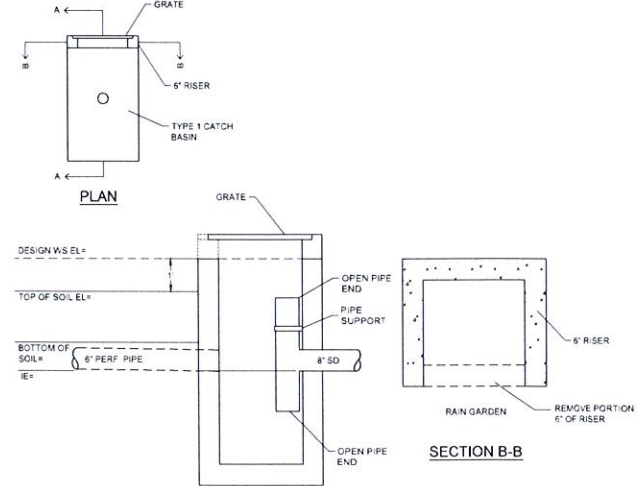
7 ROCK APRON
C4 NO SCALE



8 CURTAIN DRAIN
C4 NO SCALE



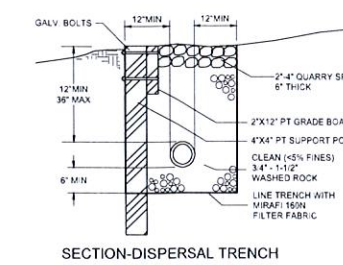
9 CLEANOUT
C4 NO SCALE



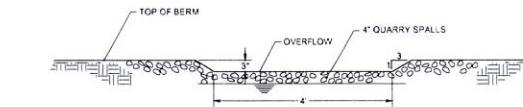
10 OUTLET STRUCTURE
C4 NO SCALE

U.S. STD. SIEVE	% PASSING
1 1/2"	100
1"	95-100
3/4"	25-60
#4	0-10
#8	0-5

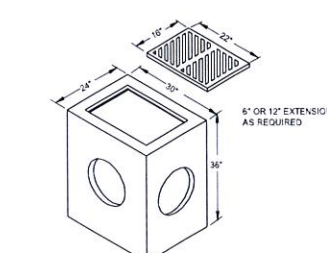
* GRAVEL FILTER SHOULD BE 3/8" TO 3/4" UNIFORM GRADED STONE WITH A WASH LOSS OF NO MORE THAN 0.5% (ASTM D 557)



3 UNDER DRAIN
C4 NO SCALE



4 OVERFLOW SPILLWAY
C4 NO SCALE



5 CB - TYPE 30
C4 NO SCALE



CITY OF BAINBRIDGE ISLAND

280 MADISON AVE. NORTH
BAINBRIDGE ISLAND, WA 98110

WALKER MACY

BROWNE • WHEELER
ENGINEERS, INC.
241 ERICKSEN AVENUE NE
BAINBRIDGE ISLAND, WA 98110
P 206 842 6607 F 206 842 6608 WWW.BWENGINEERS.COM

EAGLE HARBOR WATERFRONT PARK
BAINBRIDGE ISLAND, WA

PRELIMINARY
NOT FOR CONSTRUCTION



PROJECT NAME: WATERBURY P3119.01

DRAWN BY: K. LAUGHLIN CHECKED BY: D. BROWNE

DATE: 6-15-2015

REVISIONS:

80% SUBMITTAL

DATE: 6-15-2015

REVISIONS:

UTILITY DETAILS

4 OF 4

C4

BAINBRIDGE ISLAND
JUL 29 2015
DEPT OF PLANNING & CITY DEVELOPMENT



CITY OF BAINBRIDGE ISLAND
280 MADISON AVE. NORTH
BAINBRIDGE ISLAND, WA 98110

WALKER MACY

EAGLE HARBOR WATERFRONT PARK
BAINBRIDGE ISLAND, WA

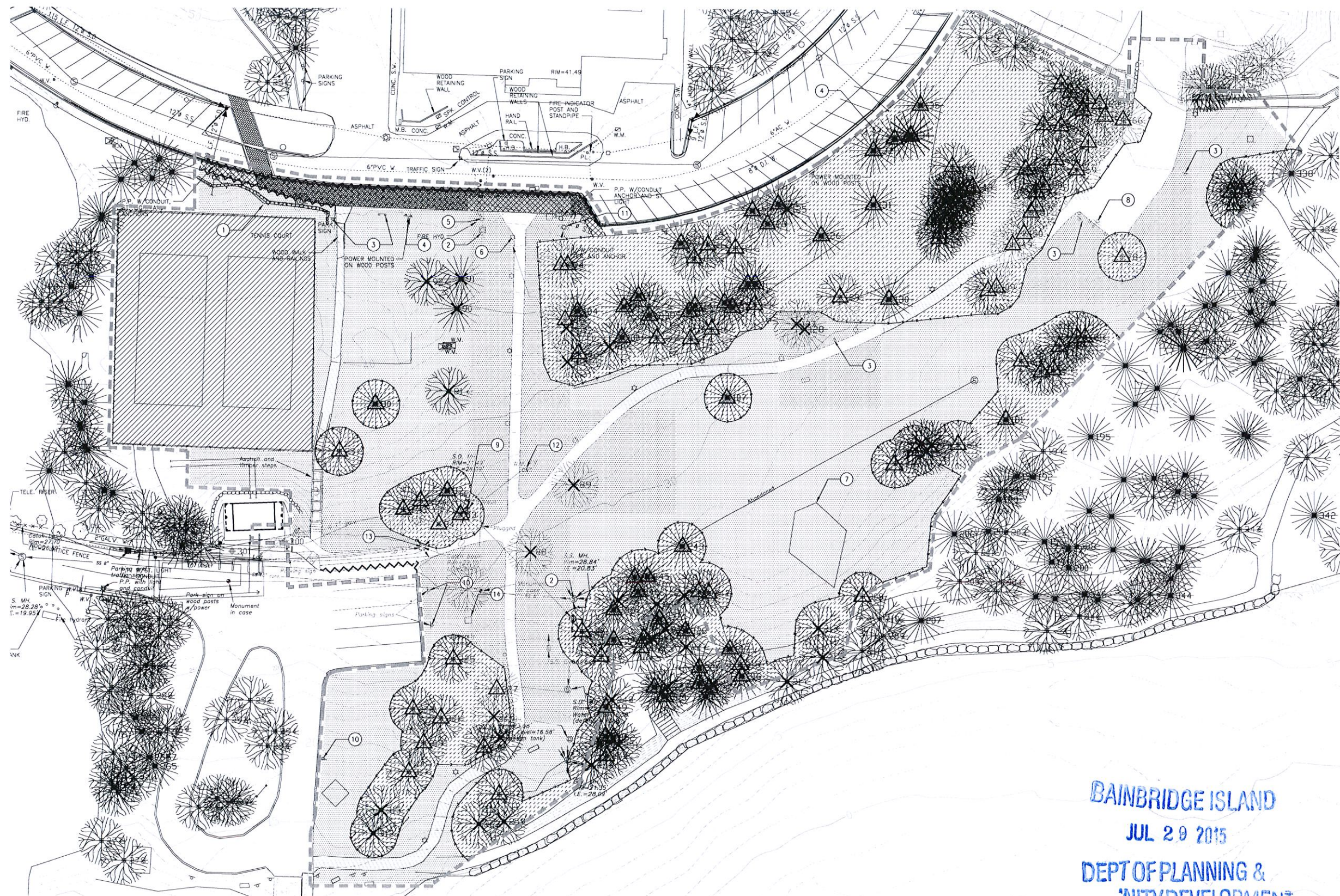
PROJECT NUMBER: P3119.01
DRAWN BY: KH REVIEWED BY: CJD/O

80% CONSTRUCTION DOCUMENTS
DATE: 06/17/2015

DEMOLITION AND TREE PROTECTION PLAN

L101

NOT FOR CONSTRUCTION



KEY NOTES

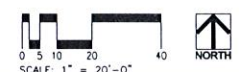
1. REMOVE ROCK WALL
2. REMOVE AND RELOCATE MANHOLE PER SHEET L201
3. REMOVE PARK SIGN
4. REMOVE AND RELOCATE POWER SERVICE, SEE SHEET L201
5. RELOCATE EXISTING FIRE HYDRANT, SEE SHEET L201
6. REMOVE (15) EXISTING LIGHTS, POLES & FOOTINGS, TYP.
7. REMOVE STAGE, IN FACT, OWNER TO DIRECT CONTRACTOR WHERE TO RELOCATE. CONTRACTOR SHALL ASSUME RELOCATION IS WITHIN 10 FEET. CONTRACTOR TO PROVIDE FOUNDATION FOR RELOCATED STAGE
8. REMOVE BASKETBALL HOOP AND BOLLARDS.
9. REMOVE EXISTING VAULT AND BACKFLOW DEVICE PER APPLICABLE CODES
10. PRESERVE AND PROTECT PARKING SIGNS
11. PRESERVE AND PROTECT P.P. AND ANCHOR
12. REMOVE METER AND VALVE
13. REMOVE CATCH BASIN
14. PRESERVE AND PROTECT EXISTING MONUMENT

GENERAL NOTES

1. CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE PLANS AND THE EXISTING CONDITIONS BEFORE STARTING WORK.
2. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE TEMPORARY TREE AND PLANT PROTECTION SPECIFICATIONS FOR THE PROJECT.

LEGEND

- LIMIT OF DEMOLITION WORK
- REMOVE EXISTING CURB, RAILING, AND FENCE, INCLUDING ANY ASSOCIATED FOOTINGS AND BASE MATERIAL
- PAVING SAWCUT LINE
- STRIP LAWN TO 6". CLEAR AND GRUB VEGETATION
- SELECTIVE CLEARING AND GRUBBING, STRIP LAWN SELECTIVELY, LMB UP TREES AS DIRECTED BY ARCHITECT. CLEARING AND GRUBBING WITHIN THIS AREA SHALL BE DONE BY HAND METHODS ONLY
- REMOVE EXISTING ASPHALT, CONCRETE, RAILINGS, STAIRS, R.R. TIES, AND PEA GRAVEL - FULL DEPTH
- REMOVE EXISTING CONCRETE PAVING AND BASE MATERIAL - FULL DEPTH
- REMOVE EXISTING STAMPED CONCRETE - FULL DEPTH
- REMOVE EXISTING TENNIS COURT PAVING, BASE MATERIAL, FENCING AND ASSOCIATED APPURTENANCES
- TREE PROTECTION FENCE
- PROTECT EXISTING TREE TO REMAIN
- REMOVE EXISTING TREE
- REMOVE EXISTING LIGHT POLE AND FOOTING





CITY OF BAINBRIDGE ISLAND
280 MADISON AVE. NORTH
BAINBRIDGE ISLAND, WA 98110

WALKER | MACY

EAGLE HARBOR WATERFRONT PARK
BAINBRIDGE ISLAND, WA

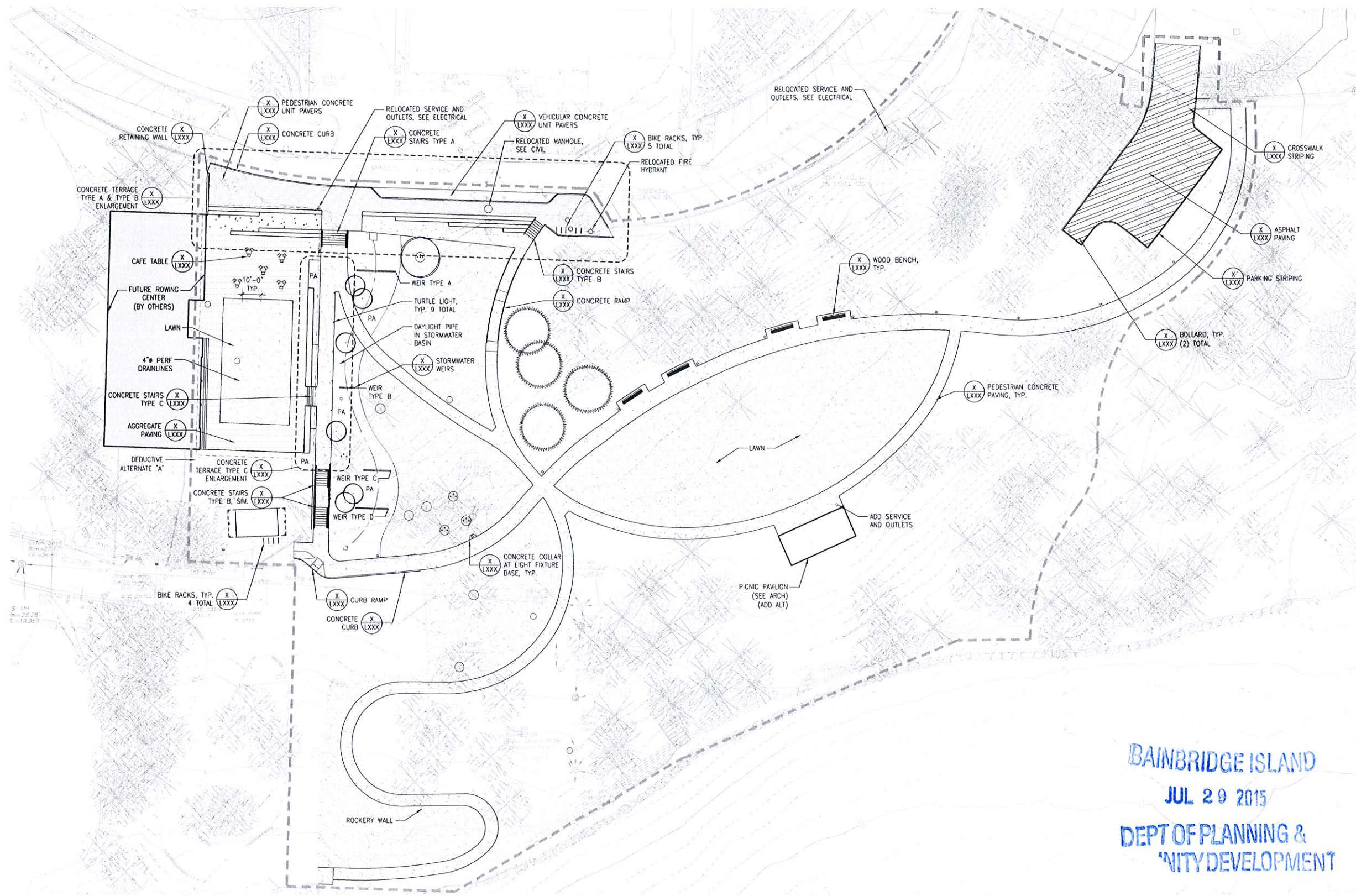
PROJECT NUMBER: P3119.01
DRAWN BY: KH REVIEWED BY: CUDO

80% CONSTRUCTION DOCUMENTS
DATE: 06/17/2015

MATERIALS PLAN

L201

NOT FOR CONSTRUCTION



KEY NOTES

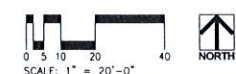
- 1 XXX...
- 2 XXX...
- 3 XXX...

GENERAL NOTES

1. CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE PLANS AND THE EXISTING CONDITIONS BEFORE STARTING WORK.

LEGEND

	UNIT PAVERS		BENCH
	CONCRETE PAVING - PEDESTRIAN		LIGHT POLE
	ASPHALT PAVING - VEHICULAR		RELOCATED FIRE HYDRANT
	AGGREGATE PAVING - PEDESTRIAN		BIKE RACK
	DETECTABLE WARNING		TRASH/RECYCLING
	LAWN AREA		CAFE TABLES
	PLANTING AREA		PROPOSED TREE
	STORMWATER PLANTING AREA		EXISTING TREE
	GUARDRAIL		
	RETAINING WALL		
	4\"/>		
	AREA DRAIN/CATCH BASIN		
	MANHOLE		
	TRENCH DRAIN		





CITY OF BAINBRIDGE
ISLAND
280 MADISON AVE. NORTH
BAINBRIDGE ISLAND, WA 98110

WALKER | MACY

EAGLE HARBOR
WATERFRONT
PARK
BAINBRIDGE ISLAND, WA

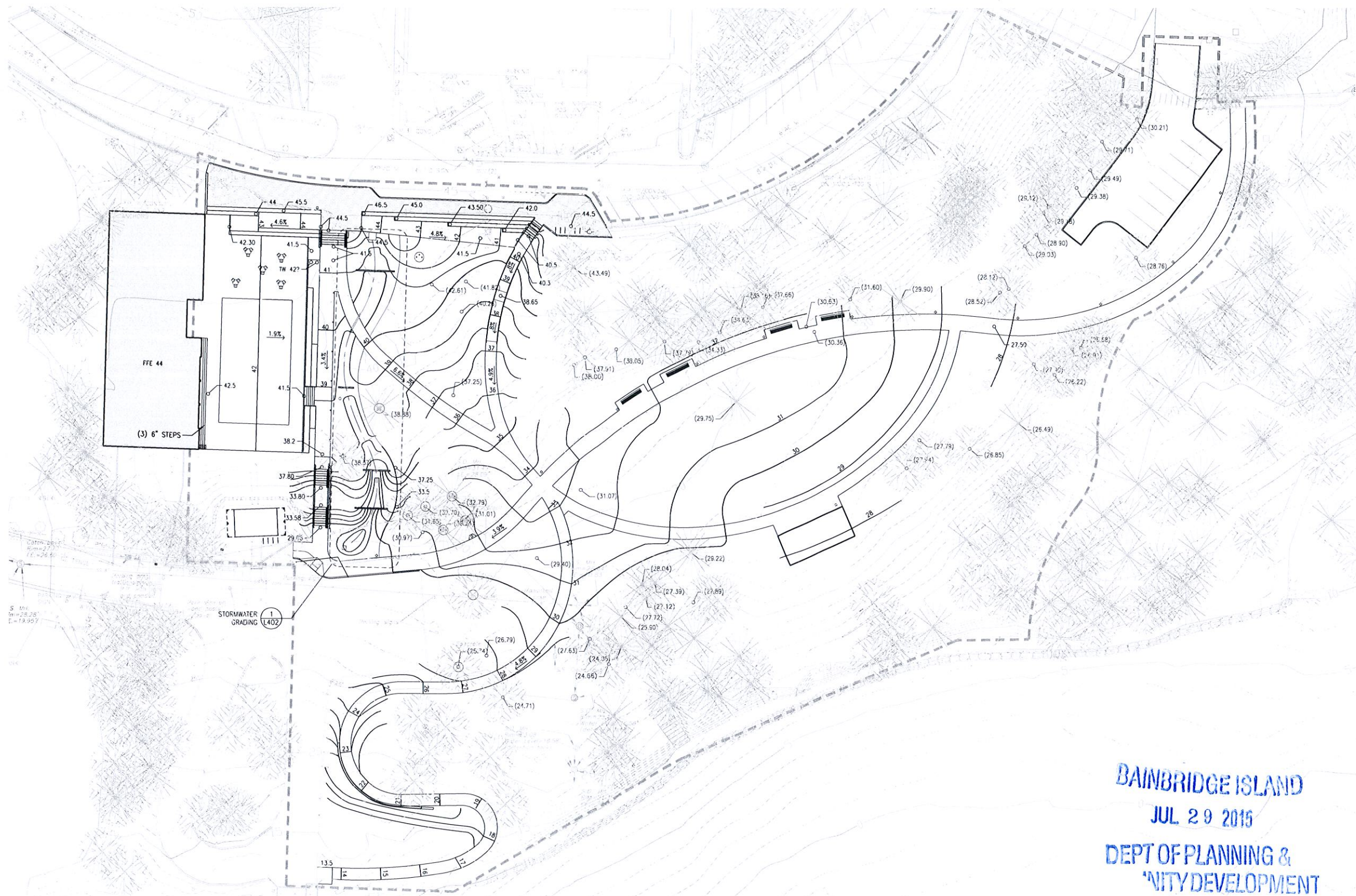
PROJECT NUMBER P3119.01
DRAWN BY KH REVIEWED BY CUDO

80% CONSTRUCTION
DOCUMENTS
DATE 06/17/2015

GRADING
PLAN

L401

NOT FOR CONSTRUCTION



KEY NOTES

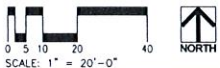
- 1 XXX...
- 2 XXX...
- 3 XXX...

GRADING NOTES

1. VERIFY ACCURACY OF EXISTING GRADES AND INTERPOLATED ELEVATIONS PRIOR TO BEGINNING WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCY PRIOR TO BEGINNING WORK.
2. PROTECT ALL TREES INDICATED TO REMAIN.
3. ALL PROPOSED GRADES ARE TO MEET AND BLEND IN WITH EXISTING GRADING AT PROJECT LIMIT, PROPERTY LINES, BUILDING LINES AND EXISTING CURBS.
4. "ROUND OFF" ALL SHARP RIDGES EXISTING ON SITE WHETHER OR NOT SUCH CONDITIONS ARE INDICATED ON PLANS.
5. NOTIFY THE OWNER'S REPRESENTATIVE TO REVIEW ROUGH GRADES PRIOR TO PLACEMENT OF TOPSOIL; AND FINE GRADING PRIOR TO PLANTING.
6. ALL AREAS SHALL HAVE POSITIVE DRAINAGE TO APPROVED DRAINAGE STRUCTURES OR CONVEYANCES.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AT 0.5% SLOPE, MINIMUM.
8. ALL WALKWAYS AND PAVED AREAS SHALL HAVE SMOOTH AND CONTINUOUS ELEVATION CHANGES.
9. SET STRAIGHT GRADES BETWEEN GIVEN ELEVATIONS, UNLESS OTHERWISE INDICATED.
10. PROVIDE 2% MAX. SLOPE, PERPENDICULAR TO DIRECTION OF TRAVEL, ON ALL PAVED PEDESTRIAN SURFACES, UNLESS NOTED OTHERWISE.
11. GRADE BREAK LINES ARE SHOWN GRAPHICALLY TO ILLUSTRATE DRAINAGE PATTERNS AND ARE NOT TO BE INSTALLED AS ACTUAL JOINT LINES, EXCEPT WHERE THEY COINCIDE WITH PAVING JOINTS.
12. INSTALL DRAINS IN PAVING, SQUARE WITH AND ALIGNING TO PAVING JOINTS AS SHOWN.
13. VERIFY IN FIELD THAT AS-BUILT CONDITIONS MATCH PRECISE ELEVATIONS INDICATED ON PLANS.
14. SITE SURVEY WAS PREPARED BY CITY OF BAINBRIDGE ISLAND PUBLIC WORKS ON APRIL 20, 2006. ALL GRADES SHOWN ON THE DRAWINGS ARE BASED UPON THE DATUM ESTABLISHED BY THE SURVEYOR. WALKER MACY ASSUMES NO RESPONSIBILITY FOR ACCURACY OF SURVEYED CONDITIONS AS SHOWN. SURVEY INFORMATION IS PROVIDED FOR REFERENCE ONLY. NOT ALL SURVEYED SPOT ELEVATIONS ARE SHOWN.

LEGEND

- | | |
|--|-------------------------------------|
| PROPOSED CONTOUR | FL FLOW LINE |
| EXISTING CONTOUR | HP HIGH POINT |
| PROPOSED SPOT ELEVATION | HPS HIGH POINT OF SWALE |
| EXISTING SPOT ELEVATION | LP LOW POINT |
| GRADE BREAK | IE INVERT ELEVATION |
| FLOW LINE | BC BOTTOM OF CURB |
| MATCH EXISTING ELEVATION | TR TOP OF RAMP |
| DIRECTION AND PERCENTAGE OR H/W RATIO OF SLOPE | BS BOTTOM OF STEP |
| AD AREA DRAIN | TS TOP OF STEP |
| CB CATCH BASIN | BW BOTTOM OF WALL (AT FG OF PAVING) |
| EA EACH | TW TOP OF WALL |
| FC FLUSH CURB | TD TRENCH DRAIN |
| FFE FINISH FLOOR ELEVATION | RM RIM ELEVATION |
| FG FINISH GRADE | R RISE |
| | T TREAD |
| | VIF VERIFY IN FIELD |

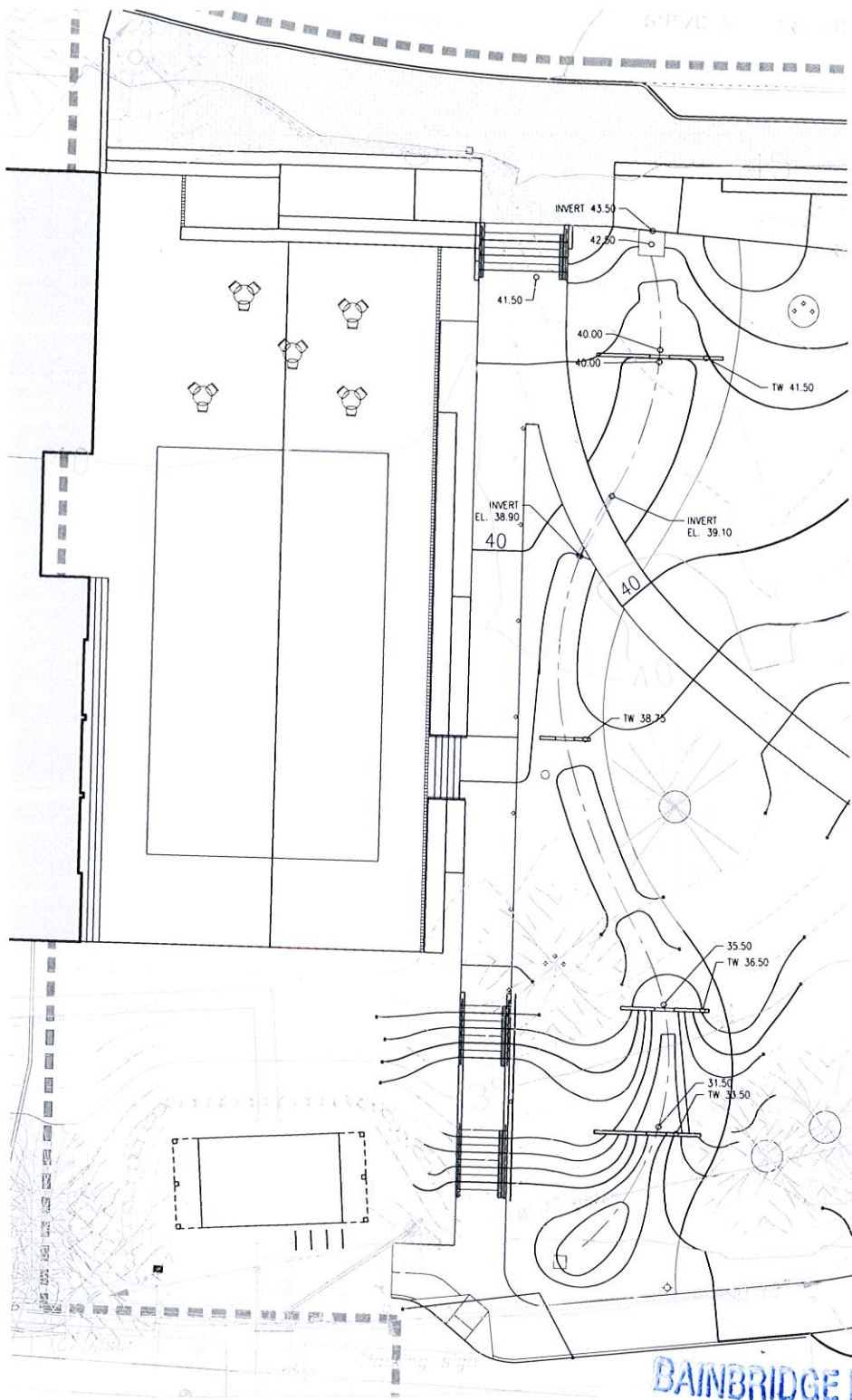




CITY OF BAINBRIDGE
ISLAND
280 MADISON AVE. NORTH
BAINBRIDGE ISLAND, WA 98110

WALKER | MACY

EAGLE HARBOR
WATERFRONT
PARK
BAINBRIDGE ISLAND, WA



KEY NOTES

1. XXX...
2. XXX...
3. XXX...

GRADING NOTES

1. VERIFY ACCURACY OF EXISTING GRADES AND INTERPOLATED ELEVATIONS PRIOR TO BEGINNING WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCY PRIOR TO BEGINNING WORK.
2. PROTECT ALL TREES INDICATED TO REMAIN.
3. ALL PROPOSED GRADES ARE TO MEET AND BLEND IN WITH EXISTING GRADING AT PROJECT LIMIT, PROPERTY LINES, BUILDING LINES AND EXISTING CURBS.
4. "ROUND OFF" ALL SHARP RIDGES EXISTING ON SITE WHETHER OR NOT SUCH CONDITIONS ARE INDICATED ON PLANS.
5. NOTIFY THE OWNER'S REPRESENTATIVE TO REVIEW ROUGH GRADES PRIOR TO PLACEMENT OF TOPSOIL; AND FINE GRADING PRIOR TO PLANTING.
6. ALL AREAS SHALL HAVE POSITIVE DRAINAGE TO APPROVED DRAINAGE STRUCTURES OR CONVEYANCES.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AT 0.5% SLOPE, MINIMUM.
8. ALL WALKWAYS AND PAVED AREAS SHALL HAVE SMOOTH AND CONTINUOUS ELEVATION CHANGES.
9. SET STRAIGHT GRADES BETWEEN GIVEN ELEVATIONS, UNLESS OTHERWISE INDICATED.
10. PROVIDE 2% MAX. SLOPE, PERPENDICULAR TO DIRECTION OF TRAVEL, ON ALL PAVED PEDESTRIAN SURFACES, UNLESS NOTED OTHERWISE.
11. GRADE BREAK LINES ARE SHOWN GRAPHICALLY TO ILLUSTRATE DRAINAGE PATTERNS AND ARE NOT TO BE INSTALLED AS ACTUAL JOINT LINES, EXCEPT WHERE THEY COINCIDE WITH PAVING JOINTS.
12. INSTALL DRAINS IN PAVING, SQUARE WITH AND ALIGNING TO PAVING JOINTS AS SHOWN.
13. VERIFY IN FIELD THAT AS-BUILT CONDITIONS MATCH PRECISE ELEVATIONS INDICATED ON PLANS.
14. SITE SURVEY WAS PREPARED BY CITY OF BAINBRIDGE ISLAND PUBLIC WORKS ON APRIL 20, 2006. ALL GRADES SHOWN ON THE DRAWINGS ARE BASED UPON THE DATUM ESTABLISHED BY THE SURVEYOR. WALKER MACY ASSUMES NO RESPONSIBILITY FOR ACCURACY OF SURVEYED CONDITIONS AS SHOWN. SURVEY INFORMATION IS PROVIDED FOR REFERENCE ONLY. NOT ALL SURVEYED SPOT ELEVATIONS ARE SHOWN.

LEGEND

- | | |
|--|-------------------------------------|
| PROPOSED CONTOUR | HP HIGH POINT |
| EXISTING CONTOUR | HPS HIGH POINT OF SWALE |
| PROPOSED SPOT ELEVATION | LP LOW POINT |
| EXISTING SPOT ELEVATION | IE INVERT ELEVATION |
| GRADE BREAK | BC BOTTOM OF CURB |
| FLOW LINE | TC TOP OF CURB |
| MATCH EXISTING ELEVATION | BR BOTTOM OF RAMP |
| DIRECTION AND PERCENTAGE OR H/W RATIO OF SLOPE | TR TOP OF RAMP |
| AREA DRAIN | DS BOTTOM OF STEP |
| CATCH BASIN | TS TOP OF STEP |
| EACH | BW BOTTOM OF WALL (AT FG OF PAVING) |
| FLUSH CURB | TW TOP OF WALL |
| FINISH FLOOR ELEVATION | TD TRENCH DRAIN |
| FINISH GRADE | RIM RIM ELEVATION |
| | R RISER |
| | T TREAD |
| | VIF VERIFY IN FIELD |



NOT FOR CONSTRUCTION

PROJECT NUMBER: P3119.01
DRAWN BY: KH
REVIEWED BY: CJD/O
PHASE: 80% CONSTRUCTION
DOCUMENTS
REVISION DATE: 08/17/2015

STORMWATER
GRADING
PLAN

L402



CITY OF BAINBRIDGE
ISLAND
280 MADISON AVE. NORTH
BAINBRIDGE ISLAND, WA 98110

WALKER | MACY

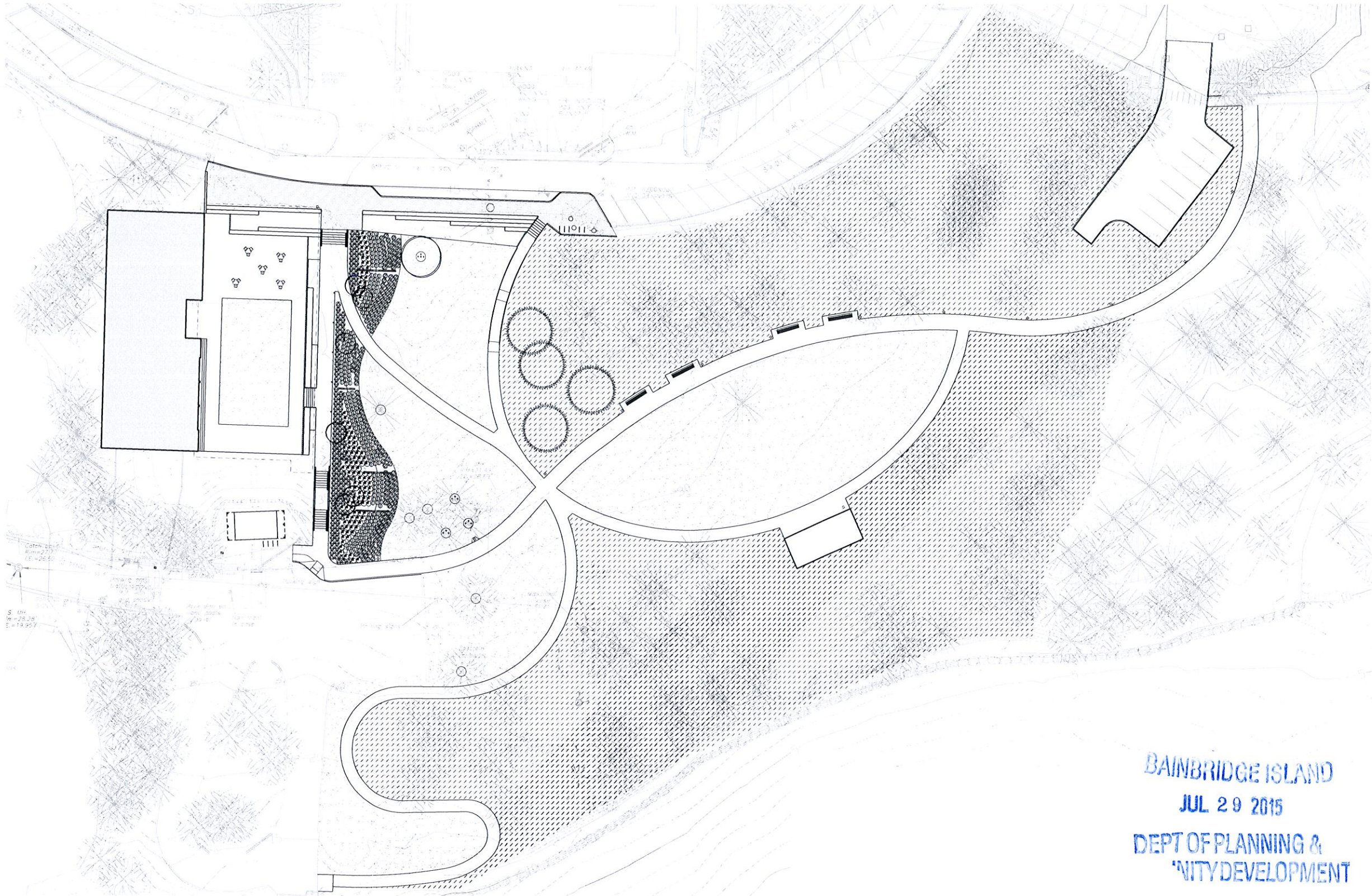
EAGLE HARBOR
WATERFRONT
PARK
BAINBRIDGE ISLAND, WA

PROJECT NUMBER: P3119.01
DRAWN BY: KH1 REVIEWED BY: CJDO
DATE: 06/17/2015
REVISIONS:

PLANTING
PLAN

L601

NOT FOR CONSTRUCTION



PLANTING NOTES

1. CONTRACTOR TO VERIFY LOCATION OF EXISTING TREES INDICATED TO REMAIN PRIOR TO SOIL PREPARATION. PROTECT ALL TREES AND SHRUBS INDICATED TO REMAIN. COORDINATE WITH THE OWNER'S REPRESENTATIVE.
2. PLANTING AREAS TO BE SUFFICIENTLY CLEANED OF ALL CONSTRUCTION MATERIALS, INCLUDING IMPORTED ROCK, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE BEFORE BEGINNING ANY LANDSCAPE WORK.
3. IDENTIFY ALL PLANTING AREAS IN FIELD WITH WHITE FIELD-MARKING CHALK OR APPROVED EQUAL. PLANTING BEDS TO BE ADJUSTED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANT LOCATION.
4. FOR PLANTING OCCURRING IN MASSES OF SAME SPECIES PLANT, LABELING REFERS TO ALL ADJACENT IDENTICAL SYMBOLS. REFER TO DETAILS AND LEGEND FOR SPACING INFORMATION.
5. THE OWNER'S REPRESENTATIVE WILL APPROVE INDIVIDUAL PLANT MATERIAL AND LOCATION OF PLANT MATERIAL PRIOR TO INSTALLATION. REFER TO SPECIFICATIONS FOR PROCEDURE.
6. SHRUBS AND GROUNDCOVER TO BE PLANTED A MINIMUM OF ONE HALF THEIR CENTER SPACING AWAY FROM PAVEMENT EDGES; UNLESS OTHERWISE NOTED.

KEY NOTES

- 1 XXX...
- 2 XXX...
- 3 XXX...

LEGEND

- WATER QUALITY PLANTINGS
- STORM WATER DETENTION
- SEED MIX A
- SEED MIX B
- IRRIGATED PLANTING AREAS

- EXISTING TREES
- PROPOSED TREES

PLANT LIST

SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
		EVERGREEN TREES		6-8 FT.	
		DECIDUOUS TREES			
	ARFR	ACER RUBRUM 'FRANKSRED'	RED SUNSET MAPLE	2" CAL.	BRANCHED AT 6'-0"
		SHRUBS			
	MAAQ	MAHONIA AQUIFOLIUM COMPACTA	COMPACT OREGON GRAPE HOLLY	#3	
	SBPT	SPIRAEA BETULIFOLIA 'TOR'	BIRCH-LEAF SPIREA	#5	
		GROUNDCOVERS			
	COSE	CORNUS SERICEA 'KELSEY'	KELSEY'S DWARF RED-OSIER DOGWOOD	#1	
	JUPA	JUNCUS PATENS	RUSH	#1	





CITY OF BAINBRIDGE
ISLAND
280 MADISON AVE. NORTH
BAINBRIDGE ISLAND, WA 98110

WALKER | MACY



PATANO STUDIO
ARCHITECTURE

EAGLE HARBOR
WATERFRONT
PARK
BAINBRIDGE ISLAND, WA

PROJECT NUMBER P3119.01

DESIGNED BY REVIEWED BY

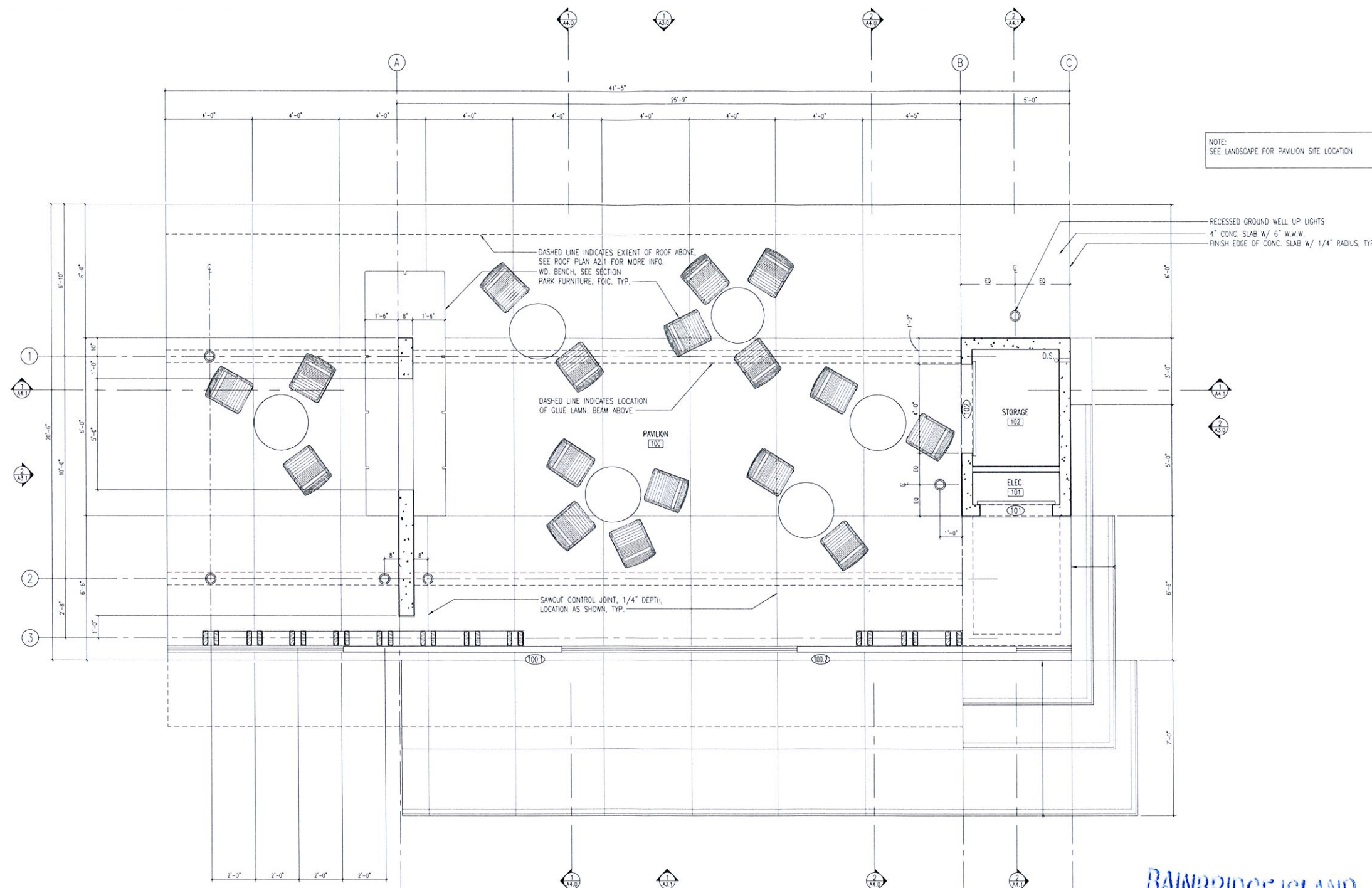
PHASE

COORDINATION

SET

ISSUE DATE 06/24/2015

REVISIONS



NOTE:
SEE LANDSCAPE FOR PAVILION SITE LOCATION

RECESSED GROUND WELL UP LIGHTS
4" CONC. SLAB W/ 6" W.W.W.
FINISH EDGE OF CONC. SLAB W/ 1/4" RADIUS, TYP.

DASHED LINE INDICATES EXTENT OF ROOF ABOVE.
SEE ROOF PLAN A2.1 FOR MORE INFO.
WD. BENCH, SEE SECTION
PARK FURNITURE, FDC, TYP.

DASHED LINE INDICATES LOCATION
OF GLUE LAMN. BEAM ABOVE

PAVILION
100

SAWCUT CONTROL JOINT, 1/4" DEPTH,
LOCATION AS SHOWN, TYP.

BAINBRIDGE ISLAND
JUL 29 2015
DEPT OF PLANNING &
CITY DEVELOPMENT

1 FLOOR PLAN
SCALE: 1/2" = 1'-0"

NOT FOR CONSTRUCTION

FLOOR PLAN
A2.0



CITY OF BAINBRIDGE
ISLAND
280 MADISON AVE. NORTH
BAINBRIDGE ISLAND, WA 98110

WALKER MACY



PATANO STUDIO
ARCHITECTURE

EAGLE HARBOR
WATERFRONT
PARK
BAINBRIDGE ISLAND, WA

PROJECT NUMBER P3119.01

DRAWN BY REVIEWED BY

PHASE
COORDINATION

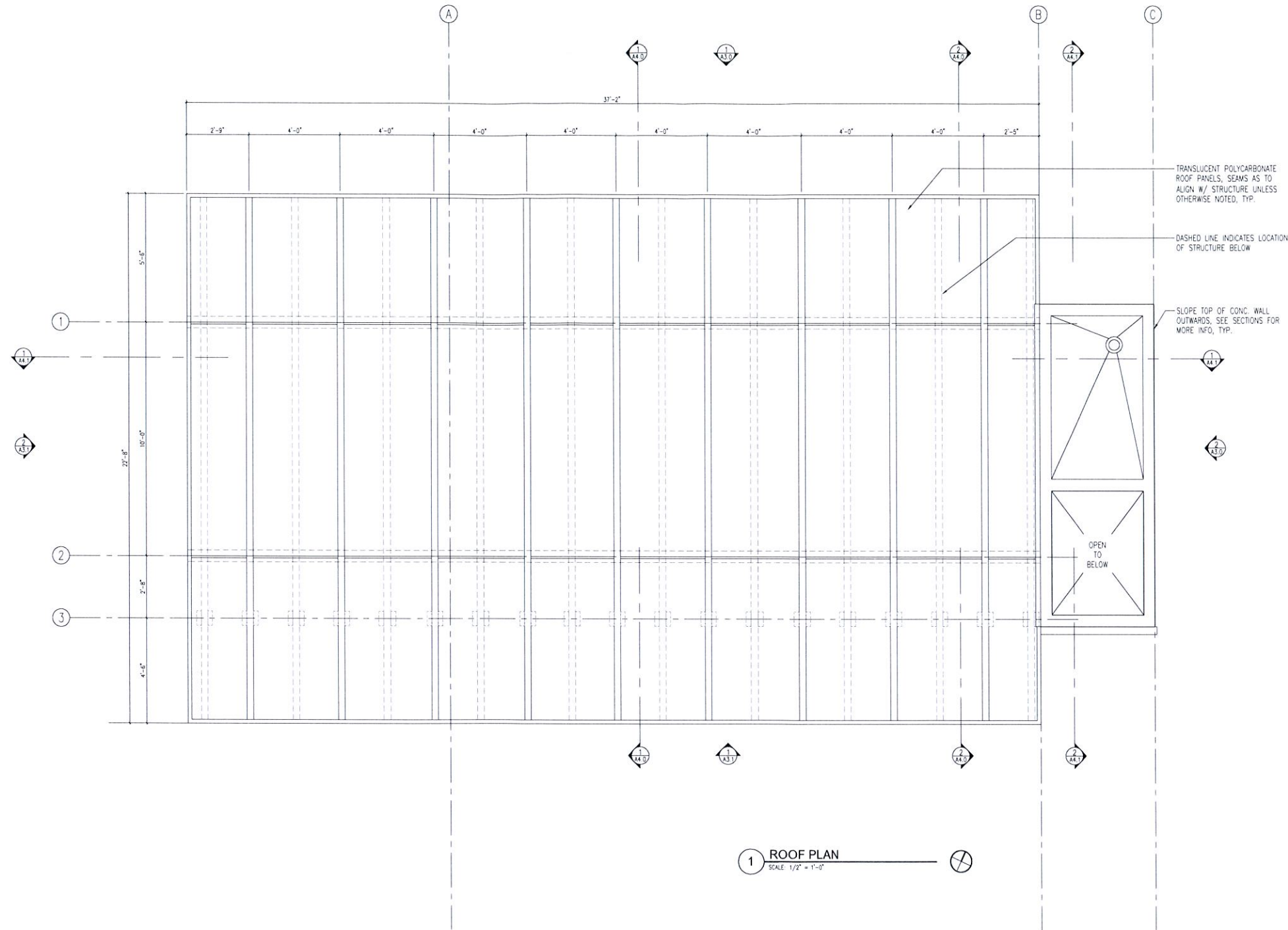
SET

ISSUE DATE
06/24/2015

REVISIONS

ROOF PLAN

A2.1



BAINBRIDGE ISLAND

JUL 20 2015

DEPT OF PLANNING &
CITY DEVELOPMENT

NOT FOR CONSTRUCTION



CITY OF BAINBRIDGE ISLAND
280 MADISON AVE. NORTH
BAINBRIDGE ISLAND, WA 98110

WALKER MACY



PATANO STUDIO
ARCHITECTURE

EAGLE HARBOR
WATERFRONT
PARK
BAINBRIDGE ISLAND, WA

PROJECT NUMBER P3119.01

DRAWN BY REVIEWED BY

PHASE

COORDINATION

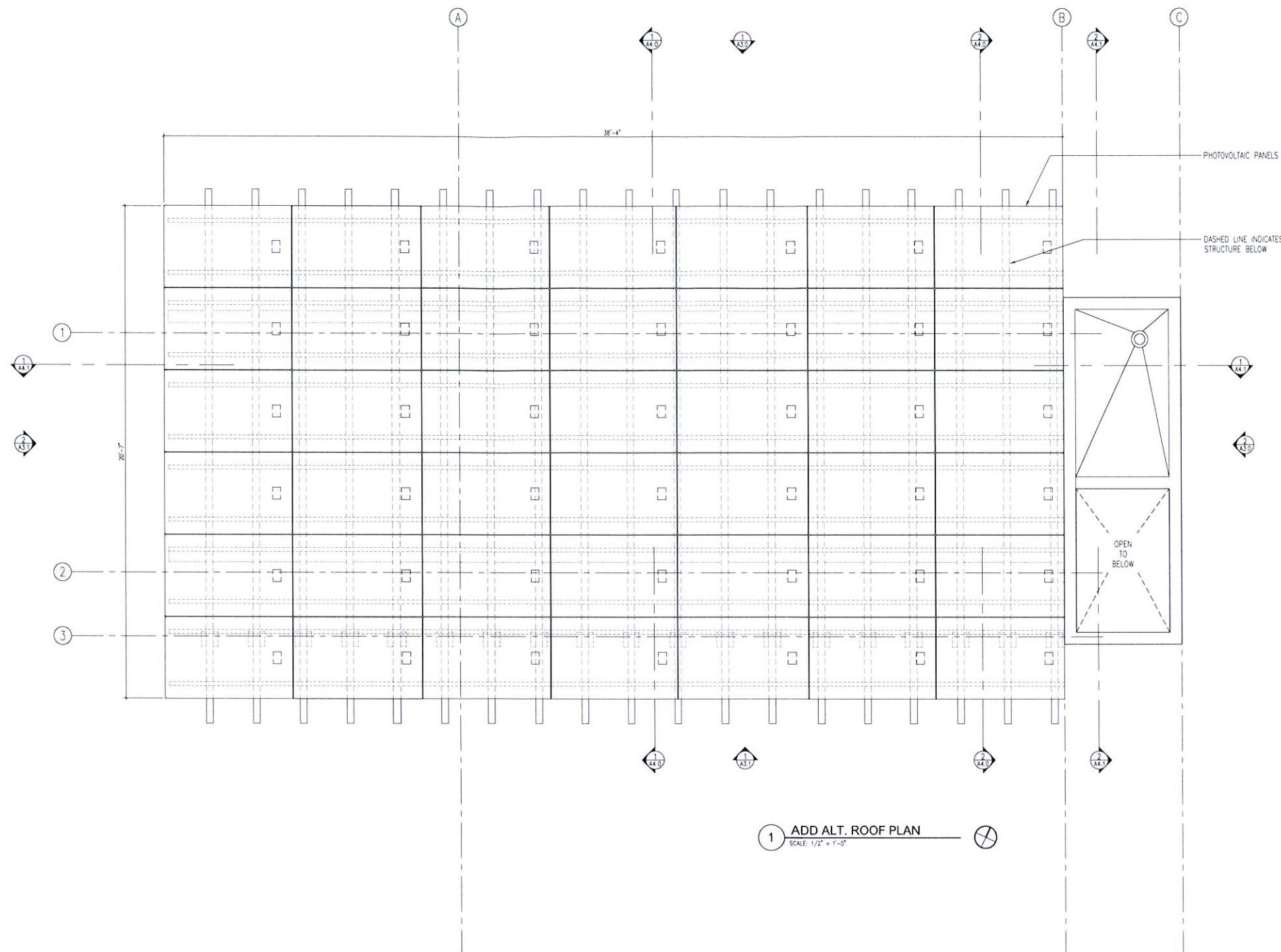
SET

ISSUE DATE
06/24/2015

REVISIONS

NOT FOR CONSTRUCTION

ADD ALT.
ROOF PLAN
A2.2



BAINBRIDGE ISLAND
JUL 29 2015
DEPT OF PLANNING &
CITY DEVELOPMENT



CITY OF BAINBRIDGE ISLAND

280 MADISON AVE. NORTH
BAINBRIDGE ISLAND, WA 98110

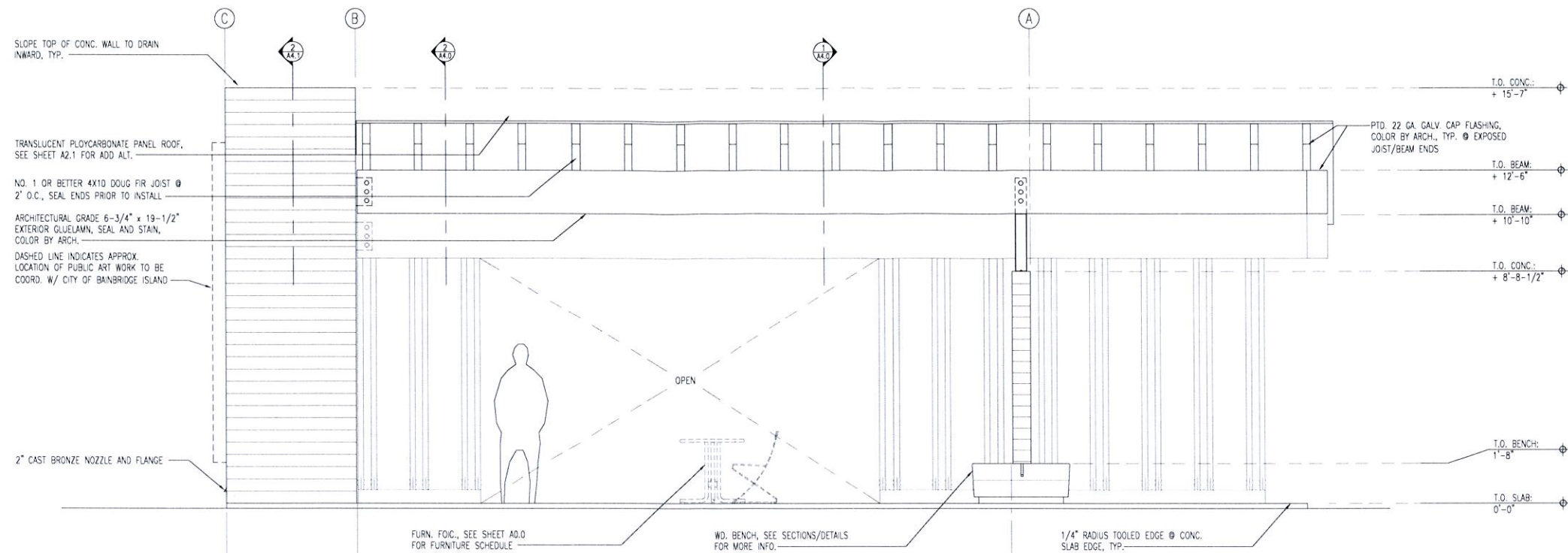
WALKER MACY



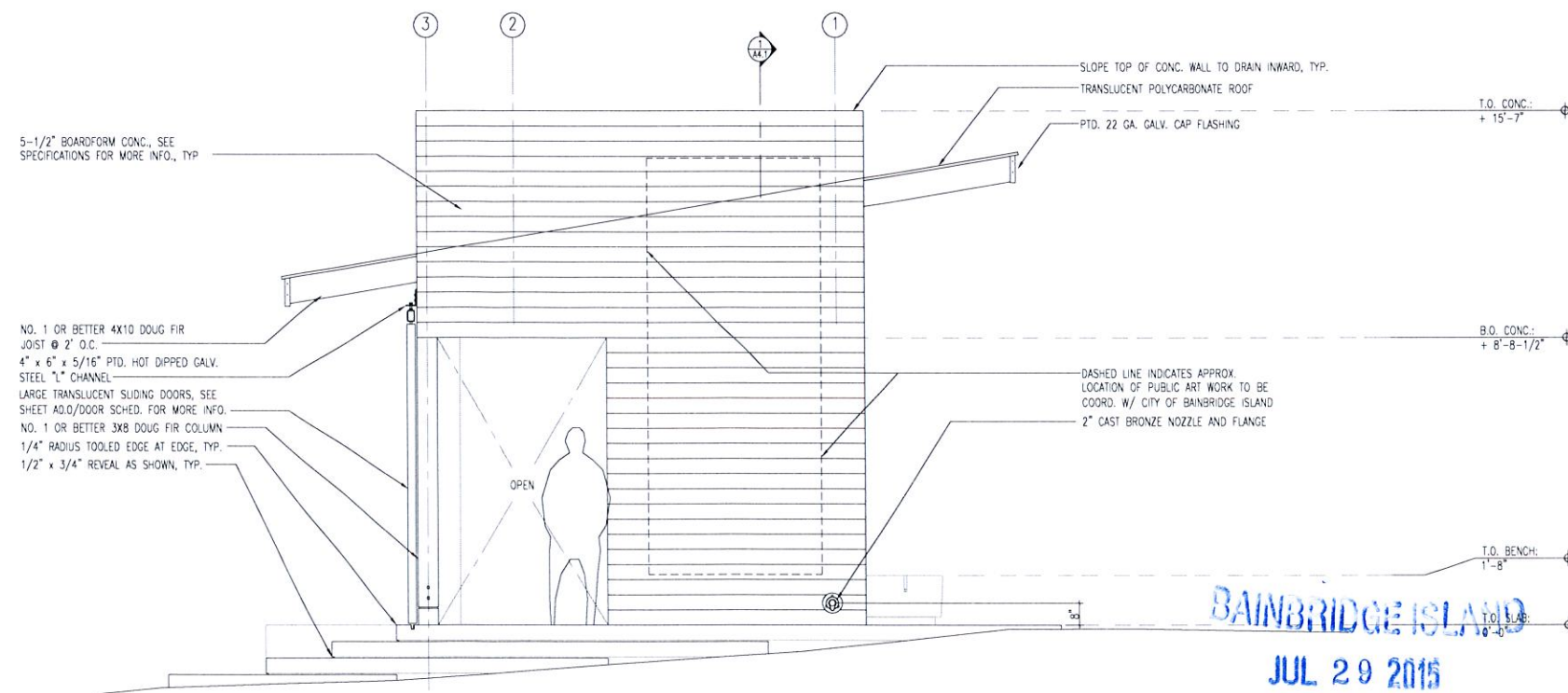
PATANO STUDIO
ARCHITECTURE

EAGLE HARBOR
WATERFRONT
PARK

BAINBRIDGE ISLAND, WA



1 NORTH ELEVATION
SCALE: 1/2" = 1'-0"



2 EAST ELEVATION
SCALE: 1/2" = 1'-0"

BAINBRIDGE ISLAND
JUL 29 2015
DEPT OF PLANNING &
CITY DEVELOPMENT

NOT FOR CONSTRUCTION

PROJECT NUMBER P3119.01
DRAWN BY: REVIEWED BY:

PHASE
COORDINATION
SET
DATE
06/24/2015
REVISIONS

ELEVATIONS

A3.0



CITY OF BAINBRIDGE
ISLAND

280 MADISON AVE. NORTH
BAINBRIDGE ISLAND, WA 98110

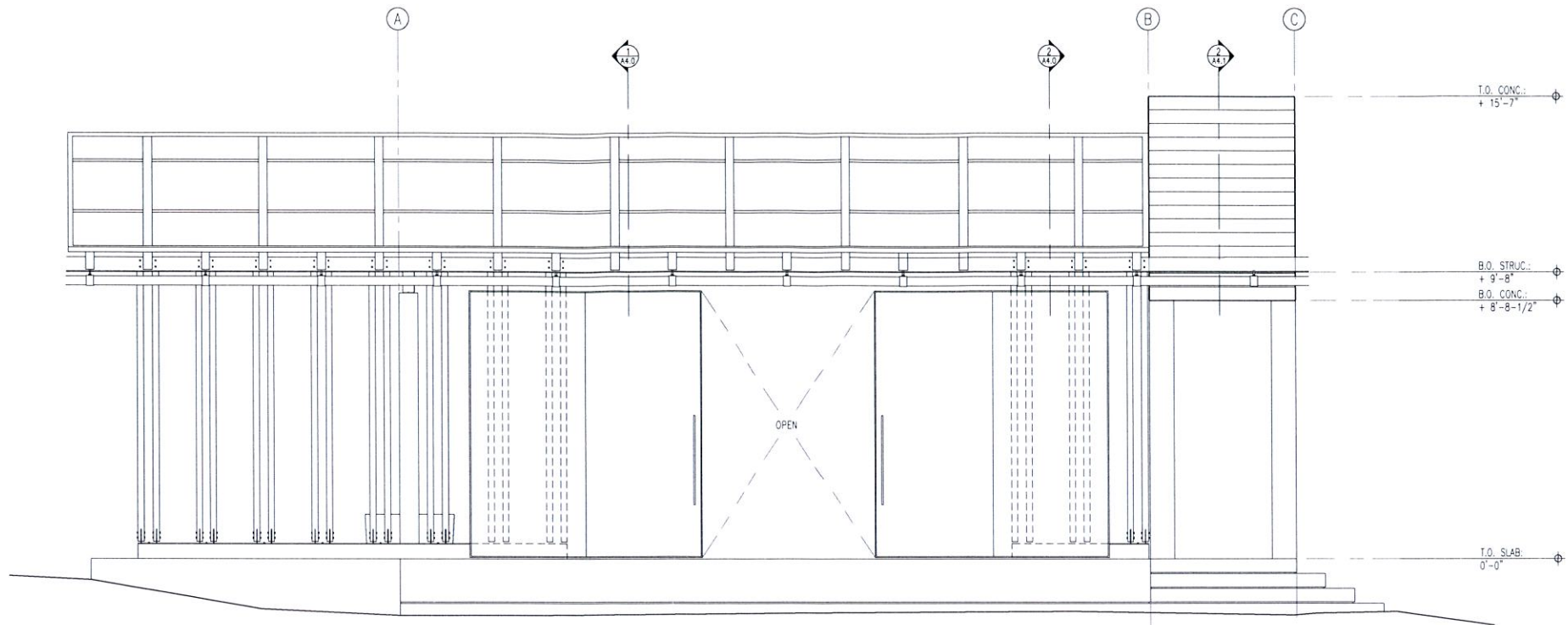
WALKER MACY



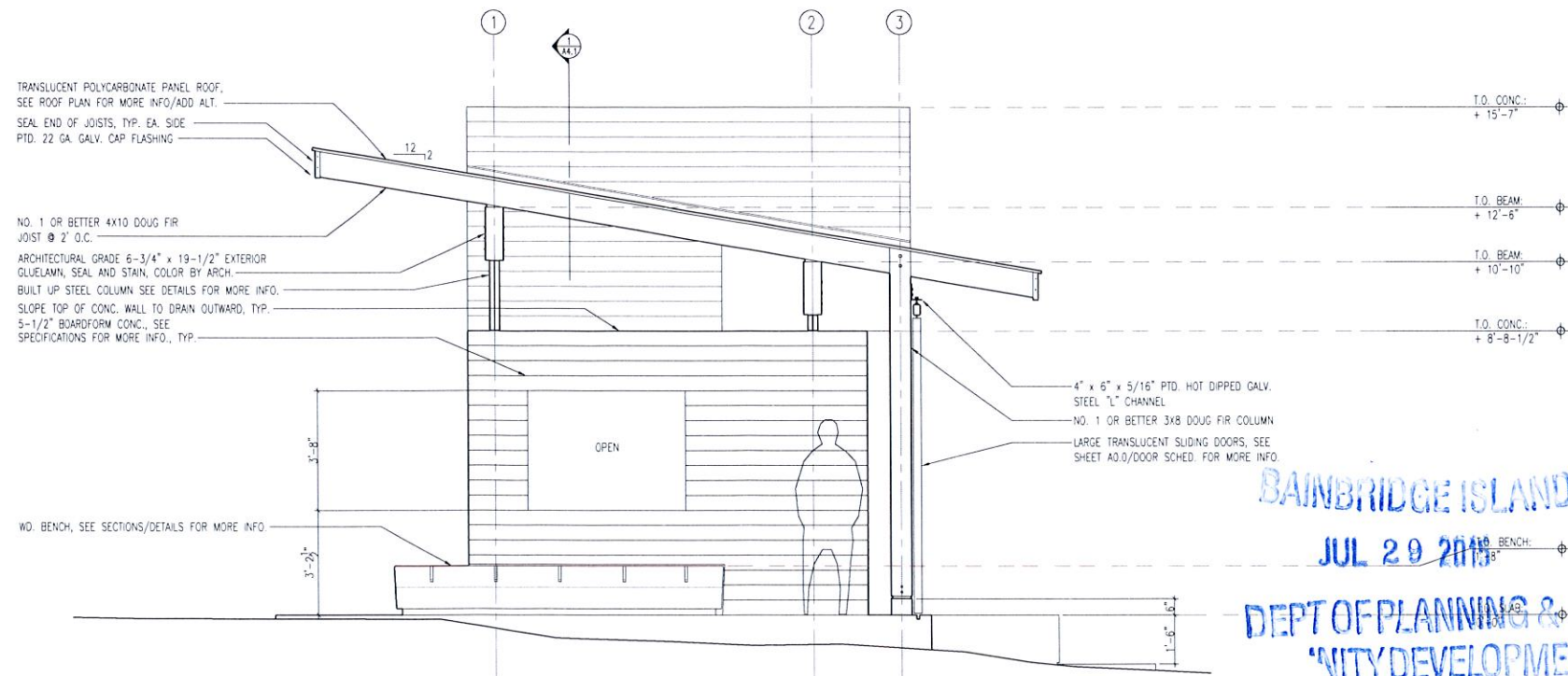
PATANO STUDIO
ARCHITECTURE

EAGLE HARBOR
WATERFRONT
PARK

BAINBRIDGE ISLAND, WA



1 SOUTH ELEVATION
SCALE: 1/2" = 1'-0"



2 WEST ELEVATION
SCALE: 1/2" = 1'-0"

PROJECT NUMBER P3119.01
DRAWN BY: REVIEWED BY:

PHASE
COORDINATION
SET
DATE
06/24/2015

REVISIONS

NOT FOR CONSTRUCTION

ELEVATIONS

A3.1



CITY OF BAINBRIDGE
ISLAND
280 MADISON AVE. NORTH
BAINBRIDGE ISLAND, WA 98110

WALKER MACY



PATANO STUDIO
ARCHITECTURE

EAGLE HARBOR
WATERFRONT
PARK
BAINBRIDGE ISLAND, WA

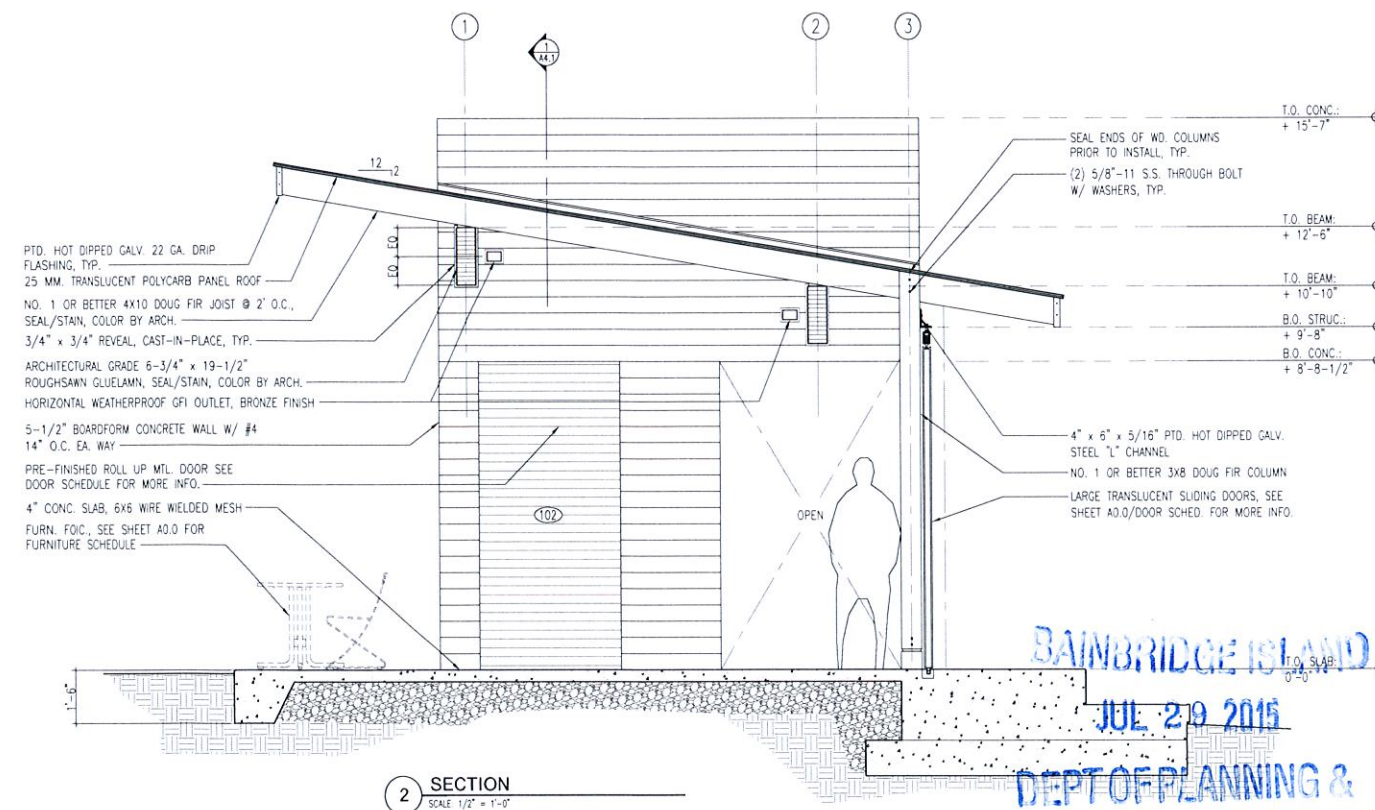
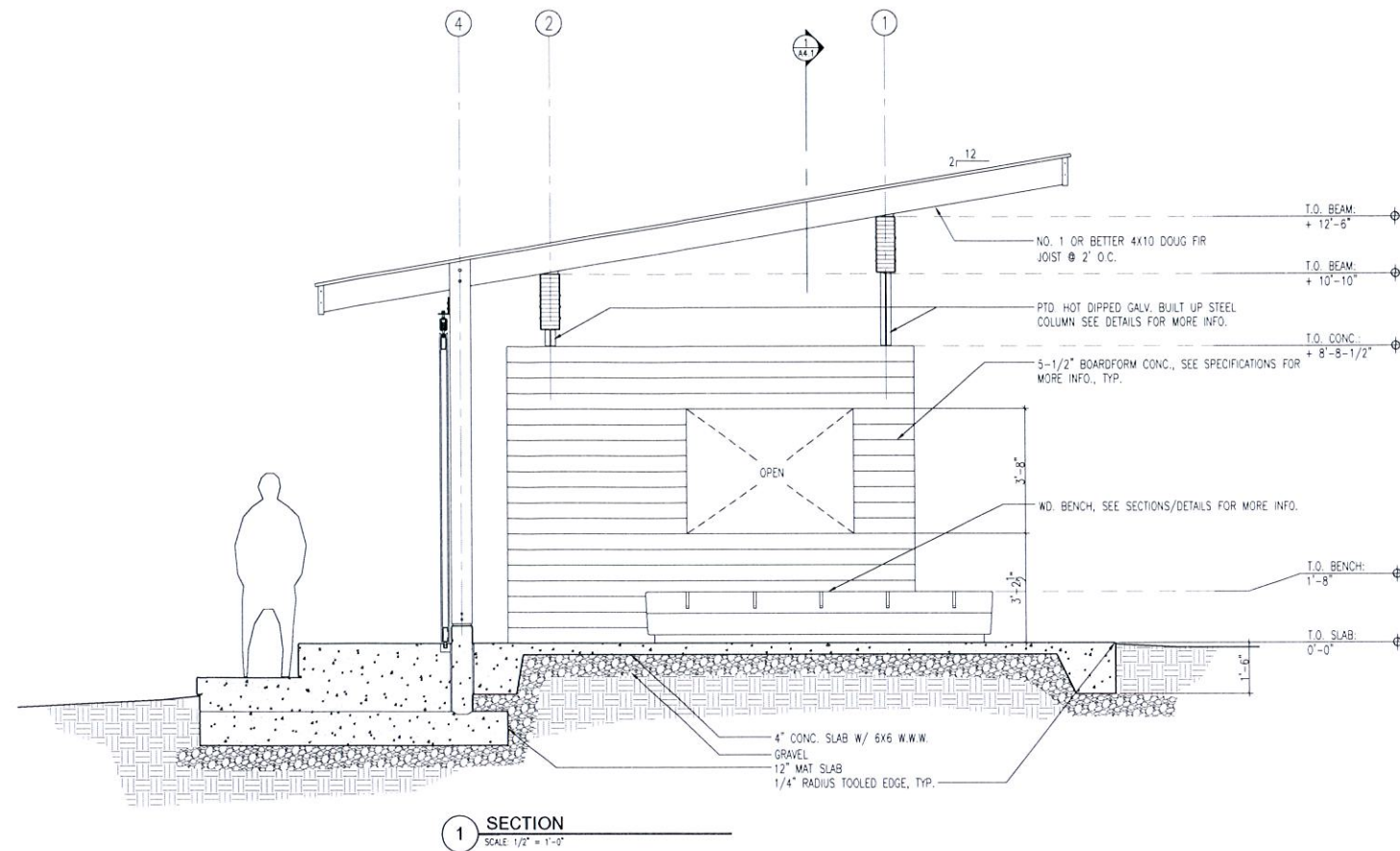
PROJECT NUMBER P3119.01
DRAWN BY REVISED BY

PHASE
COORDINATION
SET
ISSUE DATE
06/24/2015

NOT FOR CONSTRUCTION

SECTIONS

A4.0





CITY OF BAINBRIDGE ISLAND

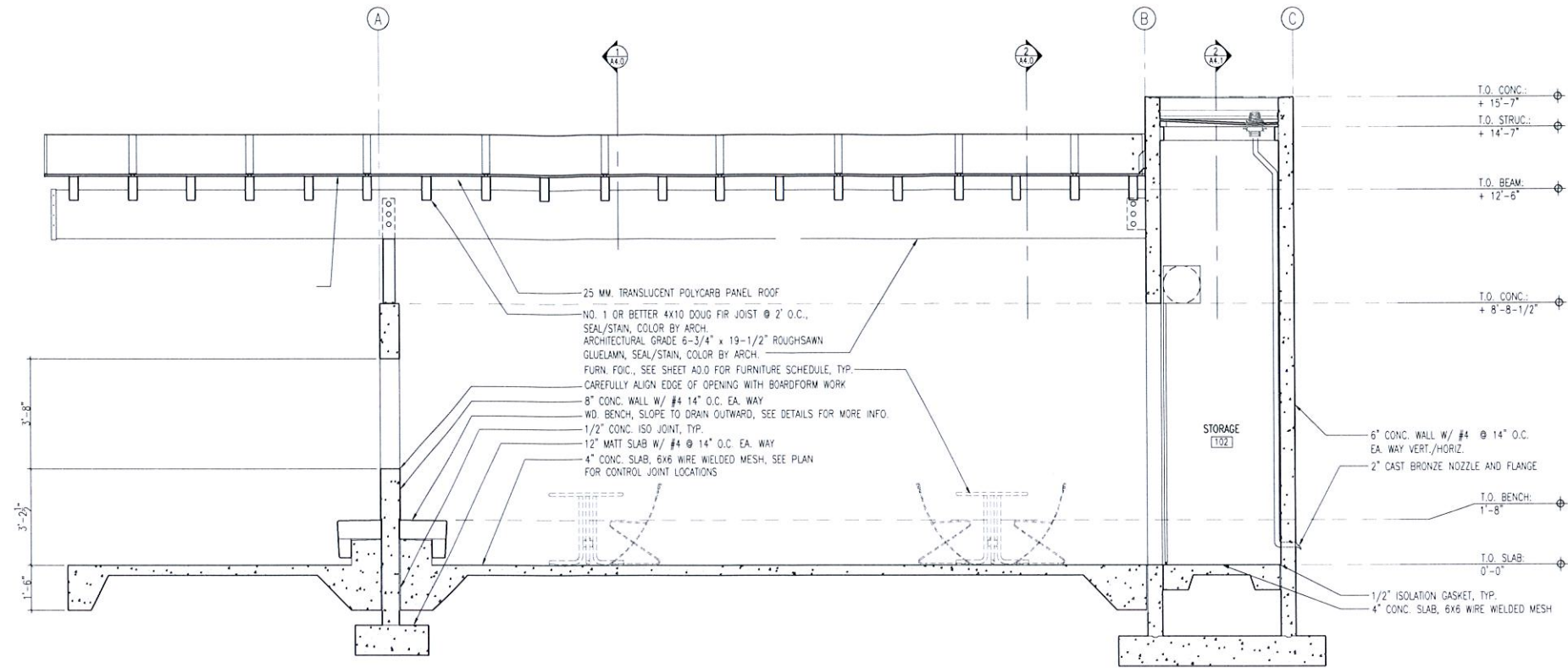
280 MADISON AVE. NORTH
BAINBRIDGE ISLAND, WA 98110

WALKER MACY

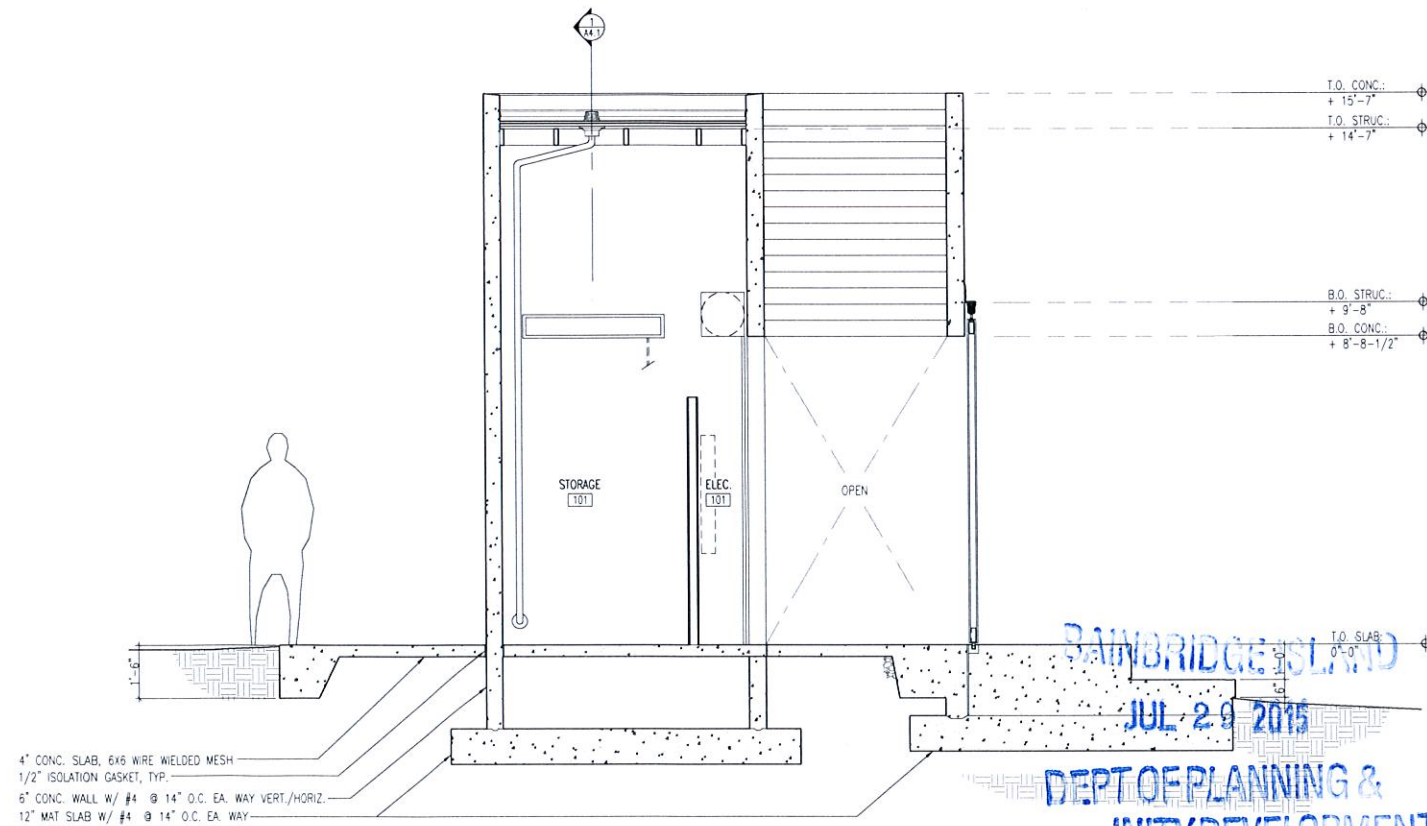


PATANO STUDIO
ARCHITECTURE

EAGLE HARBOR
WATERFRONT
PARK
BAINBRIDGE ISLAND, WA



1 SECTION
SCALE: 1/2" = 1'-0"



2 SECTION
SCALE: 1/2" = 1'-0"

PROJECT NUMBER P3119.01

DESIGNED BY REVIEWED BY

PHASE

COORDINATION

SET

ISSUE DATE

06/24/2015

REVISIONS

NOT FOR CONSTRUCTION

SECTIONS

A4.1



CITY OF BAINBRIDGE
ISLAND
280 MADISON AVE. NORTH
BAINBRIDGE ISLAND, WA 98110

WALKER | MACY



EAGLE HARBOR
WATERFRONT
PARK
BAINBRIDGE ISLAND, WA

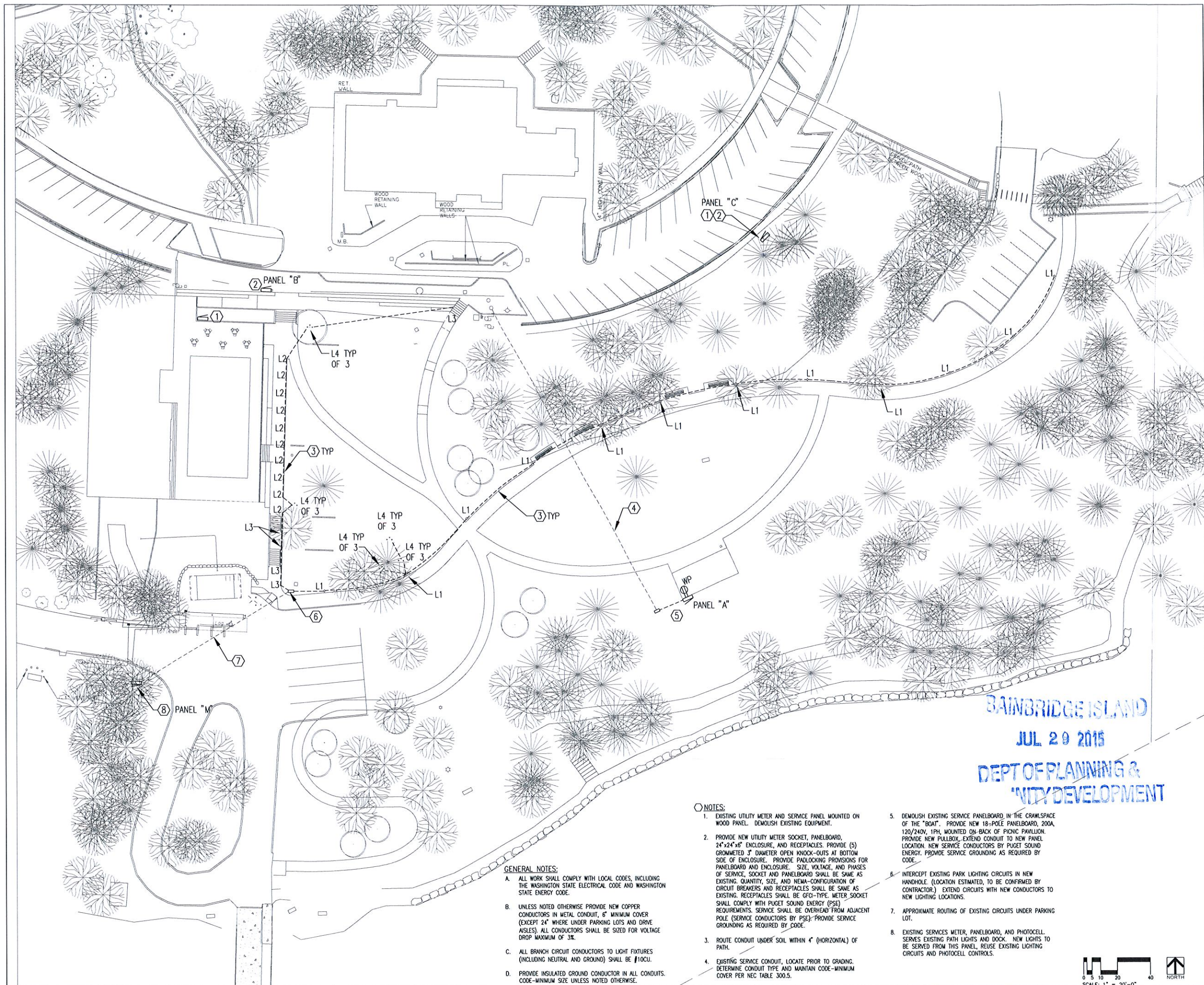


PROJECT NUMBER: P3119.01
DRAWN BY: MAAZ REVIEWED BY: NJW

100% CONSTRUCTION
DOCUMENTS
07/06/2015

SITE PLAN -
ELECTRICAL

E1



NOTES:

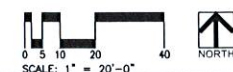
- EXISTING UTILITY METER AND SERVICE PANEL MOUNTED ON WOOD PANEL. DEMOLISH EXISTING EQUIPMENT.
- PROVIDE NEW UTILITY METER SOCKET, PANELBOARD, 24"x24"x6" ENCLOSURE, AND RECEPTACLES. PROVIDE (5) GROUNDWATER 3" DIAMETER OPEN KNOCK-OUTS AT BOTTOM SIDE OF ENCLOSURE. PROVIDE PADLOCKING PROVISIONS FOR PANELBOARD AND ENCLOSURE. SIZE, VOLTAGE, AND PHASES OF SERVICE, SOCKET AND PANELBOARD SHALL BE SAME AS EXISTING. QUANTITY, SIZE, AND NEW-CONFIGURATION OF CIRCUIT BREAKERS AND RECEPTACLES SHALL BE SAME AS EXISTING. RECEPTACLES SHALL BE GFCI-TYPE. METER SOCKET SHALL COMPLY WITH PUGET SOUND ENERGY (PSE) REQUIREMENTS. SERVICE SHALL BE OVERHEAD FROM ADJACENT POLE (SERVICE CONDUCTORS BY PSE). PROVIDE SERVICE GROUNDING AS REQUIRED BY CODE.
- ROUTE CONDUIT UNDER SOIL WITHIN 4" (HORIZONTAL) OF PATH.
- EXISTING SERVICE CONDUIT, LOCATE PRIOR TO GRADING. DETERMINE CONDUIT TYPE AND MAINTAIN CODE-MINIMUM COVER PER NEC TABLE 300.5.

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH LOCAL CODES, INCLUDING THE WASHINGTON STATE ELECTRICAL CODE AND WASHINGTON STATE ENERGY CODE.
- UNLESS NOTED OTHERWISE PROVIDE NEW COPPER CONDUCTORS IN METAL CONDUIT, 6" MINIMUM COVER (EXCEPT 24" WHERE UNDER PARKING LOTS AND DRIVE AISLES). ALL CONDUCTORS SHALL BE SIZED FOR VOLTAGE DROP MAXIMUM OF 3%.
- ALL BRANCH CIRCUIT CONDUCTORS TO LIGHT FIXTURES (INCLUDING NEUTRAL AND GROUND) SHALL BE #10CU.
- PROVIDE INSULATED GROUND CONDUCTOR IN ALL CONDUITS. CODE-MINIMUM SIZE UNLESS NOTED OTHERWISE.

- DEMOLISH EXISTING SERVICE PANELBOARD IN THE CRAWLSPACE OF THE "BOAT". PROVIDE NEW 18-POLE PANELBOARD, 200A, 120/240V, 1PH, MOUNTED ON BACK OF PICNIC PAVILION. PROVIDE NEW PULLBOX, EXTEND CONDUIT TO NEW PANEL LOCATION. NEW SERVICE CONDUCTORS BY PUGET SOUND ENERGY. PROVIDE SERVICE GROUNDING AS REQUIRED BY CODE.
- INTERCEPT EXISTING PARK LIGHTING CIRCUITS IN NEW HANDHOLE. (LOCATION ESTIMATED, TO BE CONFIRMED BY CONTRACTOR.) EXTEND CIRCUITS WITH NEW CONDUCTORS TO NEW LIGHTING LOCATIONS.
- APPROXIMATE ROUTING OF EXISTING CIRCUITS UNDER PARKING LOT.
- EXISTING SERVICES METER, PANELBOARD, AND PHOTOCCELL. SERVES EXISTING PATH LIGHTS AND DOCK. NEW LIGHTS TO BE SERVED FROM THIS PANEL. REUSE EXISTING LIGHTING CIRCUITS AND PHOTOCCELL CONTROLS.

BAINBRIDGE ISLAND
JUL 29 2015
DEPT OF PLANNING &
CITY DEVELOPMENT





Katy Bigelow
206.351.1375
arboristkaty@gmail.com

BAINBRIDGE ISLAND
JUL 29 2015
DEPT OF PLANNING &
CITY DEVELOPMENT

April 14, 2015

Mark Epstein
Engineering Project Manager
City of Bainbridge Island
Bainbridge Island, WA 98110

RE: Partial tree review – Waterfront Park

Dear Mr. Epstein:

Thank you for having me evaluate trees at Waterfront Park on Bainbridge Island. Tree risk assessment is a process by which the potential risk of injury and/or damage can be reasonably assessed and subsequently managed. To evaluate the trees addressed in this letter I combined my field experience and education with current accepted practices as defined by the American National Standards Institute (ANSI) and the International Society of Arboriculture (ISA).

The tools I use to make an assessment are limited to a rubber mallet, binoculars, compass, laser pointer, hand brush, shovel and hand trowel unless otherwise noted. A visual tree assessment and other methods are only conclusive for the day of inspection and do not guarantee that conditions will remain the same in the future.

I was asked by Mr. Epstein to:

- Complete a site visit to assess trees currently in the project area and to update the 2006 tree survey,
- Provide a memo summarizing the current health of trees within the project area,
- Address questions posed by Walker/Macy architects based on the preliminary site plan,
- Provide recommendations based on the preliminary Walker/Macy plan for trees growing close to proposed project areas and the amount of construction impact they could sustain,
- Provide a table of trees with summary information for all trees assessed.

I evaluated 124 trees on the site. Many trees did not exist in the field or have been cut down since the 2006 survey. **In each area, trees suggested for removal are based on being in poor or dying condition or of poor structure with the potential to damage or cause harm to CURRENT targets.** Recommendations for removal are not based on any preliminary plans.

I divided the areas I assessed into Areas A through E. View the site plan to see trees located in each area.

Area A: This area is sparsely planted with trees or shrubs. Except for tree 81, all the trees in this area are good candidates for retention.

- Remove tree 81.
- Tree 1 is a very good condition, young specimen tree (Paperbark maple). It can be removed and replaced elsewhere in the park if proper care is taken during the transplant process, and after care is taken over the next year to ensure establishment.

Area B: This area is mostly densely vegetated with native trees, shrubs and groundcovers. Many of the trees are good candidates for retention and the area is a good candidate for renovating by removing invasive groundcovers, removing some dead and dying trees and replanting. Keeping dense understory vegetation can help discourage the creation of casual paths.

- Remove trees 2, 3, 4, 5, 103, 105 and 125.
- If some of the trees on the east edge of this bed were removed and replaced elsewhere a wide walking or sitting area could integrate Bjune Drive with the pathway below including visibility to the proposed stage area.

Area C: This area is populated mainly with red alder and two willow trees. The area is flat with grass understory. Trees 151-172 including tree 13181 were assessed as a group. The alder and willow are all generally in fair condition.

- Add chip mulch around trees 151-172 and 13181 to create a more cohesive grove appearance.

Area D: This is the area in most need of a landscape redesign. Most trees have already been removed in this area but some good condition native shrubs still remain. The main upper bed with the few trees remaining is a great candidate for making and replanting native shrubs as understory. The lower beds by the shoreline could be re-designed and vegetated with low growing trees shrubs and groundcovers.

- Remove trees 259, 262, 312, 315, 328 and 332.

Area E: This area has several casual paths coming up from the lower path through clumps of trees. The paths are starting to erode the short slope between the paths.

- Remove trees 212, 213, 214, 219, 222, 226, 227, 229, 231, 237, 238, 240, 248, 251 and 256.

To address questions by Walker/Macy:

Regarding tree removal (or relocation) based on the current plan:

Tree 80 is in very good condition and can be retained. Tree 81 is in poor condition and is recommended for removal.

Tree 89 cannot be transplanted. It is in good condition. If retained it would need tree protection erected to its dripline throughout the project. It may need root pruning when the final placement of the path is determined.

Tree 94 is a good condition fir. It is one of the better trees on the site.

Trees 127 and 128 are in fair condition and are good candidates for removal/replacement.

Regarding trees having root cutting or fill/grade changes around their bases:

Tree 79 is in remarkably good condition for its species. They do not respond well to root pruning or other disturbance. This tree is a good candidate for retention if root disturbance does not occur within its dripline.

Tree 80 can tolerate root pruning and tree protection will have to be erected at its dripline throughout the project.

Trees 83 and 84 can tolerate some root pruning but not much. They are in very good condition and are good candidates for retention.

Tree 86 does not exist.

Tree 90 is in very good condition and a good candidate for retention.

Tree 91 is in fair condition and is an average candidate for retention.

Tree 92 is in fair condition and a good candidate for retention.

Tree 175 is in fair condition and can be retained if no root disturbance occurs. Root disturbance would quickly change the condition of this tree.

Trees 176 and 177 are recommended for removal.

None of the trees that are retained should have more than three inches of grade change (added or removed) within their drip lines.

Please review the attachment Avoiding Tree Damage Before, During and After Construction for helpful instructions on how trees are damaged by construction activities and how to preserve trees during construction activities. Primarily, changes in grade and working within tree driplines can often be the biggest offenders causing tree damage.

Thank you very much for calling me for your arboricultural concerns.



Katy Bigelow
PNW ISA member # PN-3069AT
PNW Certified Tree Risk Assessor # 199
Registered Consulting Arborist® #490

1	2	3	4	5	6	7
Tree #	Species	Condition	DBH	Candidate for retention with tree protection?	Comments	Recommendations
12395	Douglas fir, Big-leaf maple, Pacific madrone clump	All fair	18", 4"-10", 30"	Yes	All these trees grow in one tight clump.	
1	Paperbark maple (Acer griseum)	Very good	5", 4", 5"	Yes	-	
2	Douglas-fir (Pseudotsuga menziesii)	Fair	7.0"	No	-	Remove
3	Big-leaf maple (Acer macrophyllum)	Fair	4", 6", 7"	No	Leans south	Remove
4	Big-leaf maple (Acer macrophyllum)	Poor	6.0"	No	Suppressed/dying	Remove
5	Big-leaf maple (Acer macrophyllum)	Poor	7", 4", 8"	No	Basal defects, center rot/base rot	Remove
6	Douglas-fir (Pseudotsuga menziesii)	Fair	10.0"	Yes	-	
7	Red alder (Alnus rubra)	Fair	12", 4"	Yes	Partially exposed	
79	Thundercloud plum (Prunus cerasifera 'Thundercloud')	Good	29.0"	Yes	-	
80	Grand fir (Abies grandis)	Good	23.0"	Yes	-	
81	Liquidambar (Liquidambar styraciflua)	Fair	17.0"	No	Broken out in canopy, poor structure.	Remove
82	Western red cedar (Thuja plicata)	Good	27.0"	Yes	-	
83	Western red cedar (Thuja plicata)	Good	28", 16"	Yes	Forked at base, included bark up four feet.	
84	Western red cedar (Thuja plicata)	Good	21.0"	Yes	-	
85	Pacific madrone (Arbutus menziesii)	Fair	16", 24"	Yes	-	

Tree #	Species	Condition	DBH	Candidate for retention with tree protection?	Comments	Recommendations
87	Pacific madrone (Arbutus menziesii)	Fair	16.0"	Yes	Open wound from the base up five feet, leans west	
89	Ash (Fraxinus species)	Good	8.0"	Yes	-	
90	Yew (Taxus species)	Good	multi	Yes	-	
91	Arborvitae (Thuja occidentalis)	Fair	multi	Yes	-	
92	Locust (Gleditsia triacanthos)	Fair	18.0"	Yes	-	
93	Pacific madrone (Arbutus menziesii)	Fair	8", 15"	Yes	Dead branches in canopy	Prune out dead branches
94	Douglas-fir (Pseudotsuga menziesii)	Good	27.0"	Yes	-	
96	Douglas-fir (Pseudotsuga menziesii)	Fair	11.0"	Yes	-	
97	Douglas-fir (Pseudotsuga menziesii)	Fair	28.0"	Yes	Wood pecker activity at base	
98	Douglas-fir (Pseudotsuga menziesii)	Fair	27.0"	Yes	-	
100	Douglas-fir (Pseudotsuga menziesii)	Fair	29.0"	Yes	Foliage grows mainly on south side of tree.	
101	Pacific madrone (Arbutus menziesii)	Dead	30.0"	No	Leans into the stand, could leave as a snag.	Remove if necessary
102	Big-leaf maple (Acer macrophyllum)	Good	16", 18"	Yes	Dead branches in canopy. Forked at 3.5 feet.	Prune out dead branches
103	Pacific madrone (Arbutus menziesii)	Dying	14.0"	No	-	Remove
104	Douglas-fir (Pseudotsuga menziesii)	Good	37.0"	Yes	Forked at six feet. Included bark area has sap flow.	Cable to mitigate fork in the trunk.

Tree #	Species	Condition	DBH	Candidate for retention with tree protection?	Comments	Recommendations
105	Pacific madrone (Arbutus menziesii)	Poor	5.0"	No	Dying	Remove
106	Pacific madrone (Arbutus menziesii)	Fair	7.0"	Yes	Leans west	
107	Giant Sequoia (Sequoiadendron giganteum)	Very good	17.0"	Yes	-	
108	Willow (Salix lucida)	Fair	25.0"	Yes	Some basal rot, won't tolerate root disturbance within its dripline.	
109	Willow (Salix lucida)	Fair	25.0"	Yes	Some basal rot, won't tolerate root disturbance within its dripline.	
110	Pacific madrone (Arbutus menziesii)	Fair	27", 7"	Yes	Leans east	
111	Pacific madrone (Arbutus menziesii)	Fair	7.0"	Yes	Leans towards parking	
112	Pacific madrone (Arbutus menziesii)	Fair	8.0"	Yes	-	
114	Douglas-fir (Pseudotsuga menziesii)	Fair	18.0"	Yes	-	
115	Douglas-fir (Pseudotsuga menziesii)	Fair	27.0"	Yes	-	
116	Pacific madrone (Arbutus menziesii)	Fair	12.0"	Yes	Leans east, dead branches in canopy.	
117	Douglas-fir (Pseudotsuga menziesii)	Fair	27.0"	Yes		
118	Douglas-fir (Pseudotsuga menziesii)	Fair	30.0"	Yes	Exposed roots and base of tree.	

Tree #	Species	Condition	DBH	Candidate for retention with tree protection?	Comments	Recommendations
119	Pacific madrone (Arbutus menziesii)	Fair	10", 28"	Yes	10" trunk is dead.	Prune off dead trunk.
121	Douglas-fir (Pseudotsuga menziesii)	Fair	11.0"	Yes	-	
122	Pine (Pinus species)	Fair	16.0"	Yes	Slightly suppressed, dead branches in canopy over parking area.	
123	Western red cedar (Thuja plicata)	Good	17.0"	Yes	-	
124	Western red cedar (Thuja plicata)	Good	16", 27"	Yes	Forked at one foot.	
125	Pine (Pinus species)	Dead	-	No	-	Remove
126	Western red cedar (Thuja plicata)	Good	27.0"	Yes	Many surface roots to the south	Add mulch
127	Red alder (Alnus rubra)	Fair	9.0"	Yes	Leans south	If 128 is removed, remove this tree.
128	Douglas-fir (Pseudotsuga menziesii)	Fair	11.0"	Yes	Form is suppressed	If 127 is removed, remove this tree.
129	Red alder (Alnus rubra)	Fair	28.0"	Yes	Leans east	
130	Douglas-fir (Pseudotsuga menziesii)	Good	9.0"	Yes	-	
131	Western red cedar (Thuja plicata)	Very good	30.0"	Yes	Surface roots all direction	Add mulch
132	Western red cedar (Thuja plicata)	Good	6", 27"	Yes	Surface roots all direction	Add mulch
149	Red alder (Alnus rubra)	Fair	26.0"	Yes	-	
150	Red alder (Alnus rubra)	Fair	10.0"	Yes	Leans south	

Tree #	Species	Condition	DBH	Candidate for retention with tree protection?	Comments	Recommendations
175	Pacific madrone (Arbutus menziesii)	Fair	25.0"	Yes	Open wound west side base up to four feet. Won't tolerate root disturbance. Dead wood in canopy.	Prune out dead branches
176	Willow (Salix lucida)	Dying	19.0"	No	Almost dead	Remove
177	Pacific madrone (Arbutus menziesii)	Fair	8.0"	Yes	Leans north	
178	Pacific madrone (Arbutus menziesii)	Fair	14.0"	Yes	Bowed and leans north	
179	Cherry (Prunus species)	Poor	multi	No	Many very small leaning trunks	Remove
180	Big-leaf maple (Acer macrophyllum)	Fair	28.0"	Yes	Broken out secondary trunk at 12 feet above fork in main trunk. Leans north.	Can be limbed up.
207	Douglas-fir (Pseudotsuga menziesii)	Fair	40.0"	Yes	Forked at 5 feet.	Possible cabling candidate.
208	Pacific madrone (Arbutus menziesii)	Fair	10", 15", 13", 16"	Yes	-	
209	Pacific madrone (Arbutus menziesii)	Fair	9", 15", 13", 16"	Yes	-	
210	Pacific madrone (Arbutus menziesii)	Fair	4", 6"	Yes	-	
211	Pacific madrone (Arbutus menziesii)	Dying	x 4	Yes	-	Remove dead trunks, leave rest of tree.
212	Pacific madrone (Arbutus menziesii)	Dead	10", 4"	No	-	Remove
213	Pacific madrone (Arbutus menziesii)	Dead	8.0"	No	-	Remove

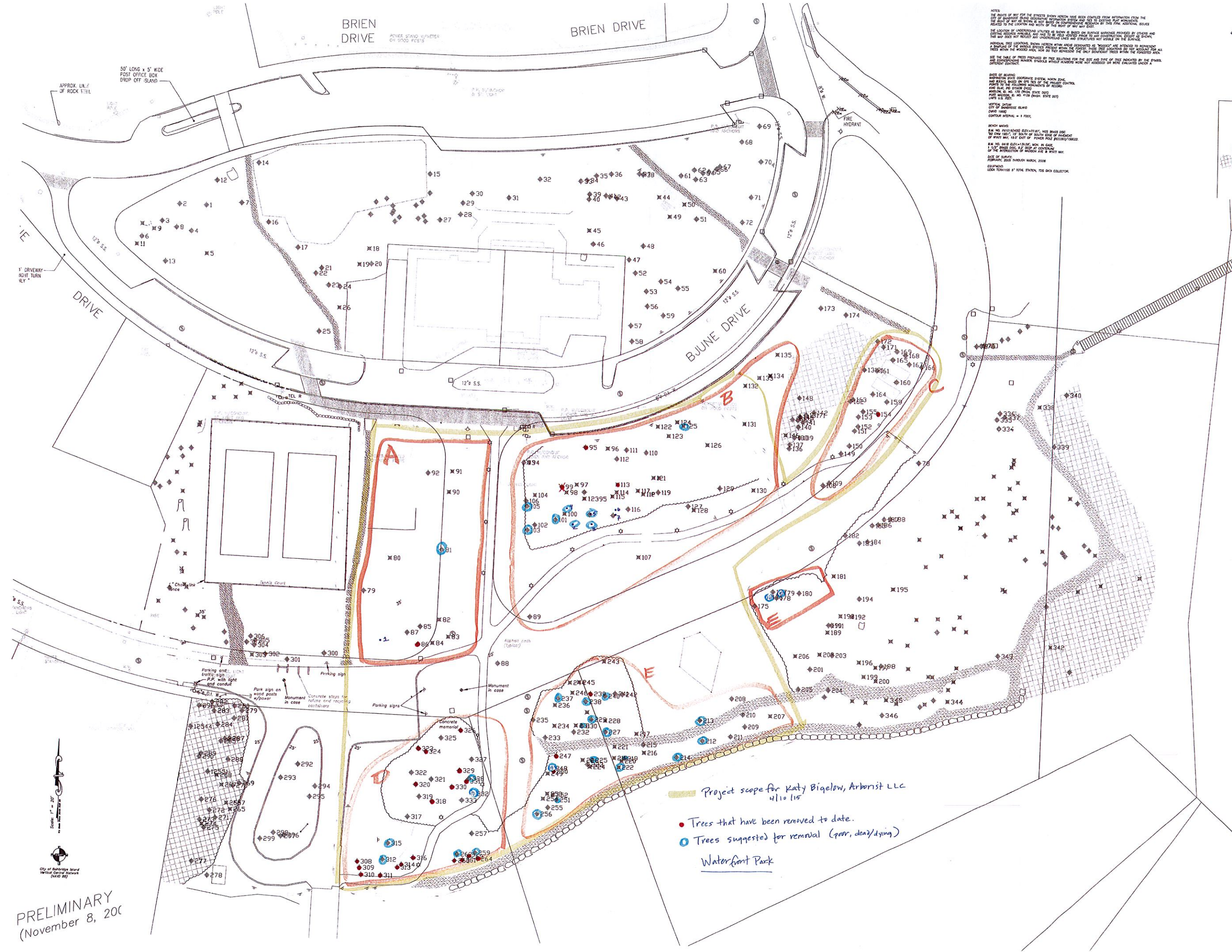
Tree #	Species	Condition	DBH	Candidate for retention with tree protection?	Comments	Recommendations
214	Pacific madrone (Arbutus menziesii)	Dying	27.0"	No	-	Remove
215	Pacific madrone (Arbutus menziesii)	Dying	27.0"	Yes		Prune out dead branches
216	Douglas-fir (Pseudotsuga menziesii)	Fair	20.0"	Yes		*Retain only as part of a clump
217	Douglas-fir (Pseudotsuga menziesii)	Fair	34.0"	Yes		
218	Douglas-fir (Pseudotsuga menziesii)	Fair	21.0"	Yes	-	*Retain only as part of a clump
219	Pacific madrone (Arbutus menziesii)	Dead	24.0"	No	-	Remove
221	Douglas-fir (Pseudotsuga menziesii)	Fair	28.0"	Yes	-	
222	Douglas-fir (Pseudotsuga menziesii)	Dead	12.0"	No	-	Remove
223	Pacific madrone (Arbutus menziesii)	Poor	17.0"	Yes	-	
224	Douglas-fir (Pseudotsuga menziesii)	Fair	30.0"	Yes	-	
225	Pacific madrone (Arbutus menziesii)	Dead	16.0"	No	-	Remove
226	Douglas-fir (Pseudotsuga menziesii)	Fair	21.0"	Yes	Popping bark at base, wood pecker activity, possible removal candidate.	
227	Pacific madrone (Arbutus menziesii)	Dead	18.0"	No	-	Remove
228	Douglas-fir (Pseudotsuga menziesii)	Fair	17.0"	Yes	-	

Tree #	Species	Condition	DBH	Candidate for retention with tree protection?	Comments	Recommendations
229	Pacific madrone (Arbutus menziesii)	Dead	11.0"	No	-	Remove
230	Pacific madrone (Arbutus menziesii)	Dying	10.0"	No	-	Can remove dead trunks only and leave the rest.
231	Douglas-fir (Pseudotsuga menziesii)	Fair	40.0"	Yes	-	
232	Pacific madrone (Arbutus menziesii)	Dying	17.0"	Yes	Dying	
233	Pacific madrone (Arbutus menziesii)	Fair	21.0"	Yes	-	
234	Douglas-fir (Pseudotsuga menziesii)	Fair	6.0"	Yes	-	
235	Big-leaf maple (Acer macrophyllum)	Fair	35.0"	Yes	Forked at three feet with included bark up to 6.5 feet.	Can be limbed up.
236	Douglas-fir (Pseudotsuga menziesii)	Fair	23.0"	Yes	-	
237	Pacific madrone (Arbutus menziesii)	Dead	22.0"	No	-	Remove
238	Pacific madrone (Arbutus menziesii)	Dead	22.0"	No	-	Remove
240	Pacific madrone (Arbutus menziesii)	Dying	26.0"	No	Nearly dead	Remove
241	Pacific madrone (Arbutus menziesii)	Fair	45.0"	Yes	Dead branches in canopy	Prune out dead branches
242	Pacific madrone (Arbutus menziesii)	Fair	28.0"	Yes	Dead branches in canopy	Prune out dead branches
243	Douglas-fir (Pseudotsuga menziesii)	Good	27.0"	Yes	-	

Tree #	Species	Condition	DBH	Candidate for retention with tree protection?	Comments	Recommendations
244	Douglas-fir (Pseudotsuga menziesii)	Fair	8.0"	Yes	-	
245	Douglas-fir (Pseudotsuga menziesii)	Fair	9.0"	Yes	-	
246	Douglas-fir (Pseudotsuga menziesii)	Fair	6.0"	Yes	-	
248	Big-leaf maple (Acer macrophyllum)	Fair	24.0"	No	Poor structure	Candidate for removal
249	Douglas-fir (Pseudotsuga menziesii)	Fair	24.0"	Yes	-	
251	Pacific madrone (Arbutus menziesii)	Fair	23.0"	No	-	Remove
252	Douglas-fir (Pseudotsuga menziesii)	Fair	-	Yes	-	
253	Douglas-fir (Pseudotsuga menziesii)	Fair	22.0"	Yes	-	
254	Douglas-fir (Pseudotsuga menziesii)	Fair	18.0"	Yes	-	
255	Pacific madrone (Arbutus menziesii)	Fair	29.0"	Yes	-	
256	Pacific madrone (Arbutus menziesii)	Poor	6.0"	No	Forked at 5 feet, many dead branches in canopy.	Remove
259	Pacific madrone (Arbutus menziesii)	Poor	22.0"	No	-	Remove
262	Pacific madrone (Arbutus menziesii)	Fair	17.0"	No	-	Remove
312	Pacific madrone (Arbutus menziesii)	Poor	19.0"	No	-	Remove

[illegible]

- = Zits Applied
- = Mole malar
- = Mole wite
- 0 = UGH
- = Sanitary sewer line
- = Chalk mark
- = Storm drain manhole
- Survey monument
- = Sign
- = Sign
- = Sign
- = Sign
- ✕ 126 = Easement from Parcel by Tree Sale
- ◆ 116 = Dedication from Parcel by Tree Sale
- = Wooded or forested (See Map)
- = Forest Boundary
- = Forest Fragment

[illegible]

Project scope for Katy Bigelow, Arborist LLC
4/10/15

- Trees that have been removed to date.
- Trees suggested for removal (poor, dead/dying)

Waterfront Park

PRELIMINARY
(November 8, 200