



**PLANNING COMMISSION SPECIAL MEETING
WEDNESDAY, SEPTEMBER 3, 2025**

BAINBRIDGE ISLAND CITY HALL
COUNCIL CHAMBERS
280 MADISON AVENUE N.
BAINBRIDGE ISLAND, WASHINGTON

AND

ZOOM WEBINAR
[HTTPS://BAINBRIDGEWA.ZOOM.US/J/88134199972](https://bainbridgewa.zoom.us/j/88134199972)
OR TELEPHONE: US: +1 253 205 0468
WEBINAR ID: 881 3419 9972

AGENDA

1. CALL TO ORDER/LAND ACKNOWLEDGMENT - 1:00 PM

We would like to begin by acknowledging that the land on which we gather is within the ancestral territory of the Suquamish, "People of Clear Salt Water." Expert fishermen, canoe builders and basket weavers, the Suquamish live in harmony with the lands and waterways along Washington's Central Salish Sea as they have for thousands of years. Here, the Suquamish live and protect the land and waters of their ancestors for future generations as promised by the Point Elliot Treaty of 1855.

2. AGENDA REVIEW / CONFLICTS DISCLOSURE - 1:05 PM

3. UNFINISHED BUSINESS - 1:10 PM

3a. (1:10 PM) EXPLANATION OF OBJECTIVES, MATERIALS, FORMAT & SEQUENCE FOR DISCUSSION OF WINSLOW DISTRICT DEVELOPMENT REGULATIONS - 10 Minutes

[Tovar Memo August 29, 2025.pdf](#)

3b. (1:20 PM) PLANNING COMMISSION DELIBERATION: High School Road Regulations; Ferry Terminal District Regulations 2 Hours

[Sept 3 PC Land Use Materials.pdf](#)

(3:20 PM to 3:30 PM) Break

(3:30 to 4:30 PM) PLANNING COMMISSION DELIBERATION - Central Core District Regulations

4. PUBLIC COMMENT INSTRUCTIONS - 4:30 PM - 5:00 PM

(4:30 - 5:00 PM) **Public Comment will be taken today in the first session from 4:30 PM - 5:00 PM and again from 6:00 PM - 6:30 PM . Those wishing to provide public comment will be called upon in the order that they have registered on the sign-up sheet. We hope everyone will have an opportunity to speak but we

need to maintain a strict time schedule and therefore will be adhering to the 3 minute per person time limit within the scheduled time frame.**

Members of the public are encouraged to submit written public comment to the Planning Commission at any time by emailing pcd@bainbridgewa.gov. Members of the public who wish to provide public comment in-person at a Planning Commission meeting should sign up to speak on the sign-in sheet by the Chamber doors. The Planning Commission Chair will call the people signed up on the sign-in sheet, and speakers will have up to three minutes to speak from the podium. Please speak directly into the microphone, which is adjustable. A timer on the screen will indicate when 3 minutes (or such other time set by the Chair) has elapsed. Orderly behavior and civility in remarks is expected with no clapping or booing, and no yielding of one person's time to another person.

Guidelines for public comment are provided. Remote public comment is allowed with advance notice to the Planning & Community Development Department by noon on the date of the meeting at pcd@bainbridgewa.gov, provided that all remote commenters shall be required to display their true name and to keep their camera turned on to show their true uncovered face while delivering their comments.

Public comment is not accepted during the balance of the Planning Commission meeting, unless a public hearing or public participation meeting is on the agenda.

5. BREAK - 5:00 PM - 6:00 PM

6. PUBLIC COMMENT INSTRUCTIONS - 6:00 PM - 6:30 PM

(6:00 - 6:30 PM) **Public Comment will be taken today in the first session from 4:30 PM - 5:00 PM and again from 6:00 PM - 6:30 PM . Those wishing to provide public comment will be called upon in the order that they have registered on the sign-up sheet. We hope everyone will have an opportunity to speak but we need to maintain a strict time schedule and therefore will be adhering to the 3 minute per person time limit within the scheduled time frame.** Members of the public are encouraged to submit written public comment to the Planning Commission at any time by emailing pcd@bainbridgewa.gov. Members of the public who wish to provide public comment in-person at a Planning Commission meeting should sign up to speak on the sign-in sheet by the Chamber doors. The Planning Commission Chair will call the people signed up on the sign-in sheet, and speakers will have up to three minutes to speak from the podium. Please speak directly into the microphone, which is adjustable. A timer on the screen will indicate when 3 minutes (or such other time set by the Chair) has elapsed. Orderly behavior and civility in remarks is expected with no clapping or booing, and no yielding of one person's time to another person. Guidelines for public comment are provided. Remote public comment is allowed with advance notice to the Planning & Community Development Department by noon on the date of the meeting at pcd@bainbridgewa.gov, provided that all remote commenters shall be required to display their true name and to keep their camera turned on to show their true uncovered face while delivering their comments. Public comment is not accepted during the balance of the Planning Commission meeting, unless a public hearing or public participation meeting is on the agenda.

7. UNFINISHED BUSINESS - 6:30 PM

- 5a. (6:30 PM to 8:30 PM) PLANNING COMMISSION DELIBERATION - Madison District Regulations; Ferncliff District Regulations** 2 Hours
[4 Middle Housing PSR ODS Detailed Toolkit Final 20230714_SV.pdf](#)
[Pages from 4 Middle Housing PSR ODS Detailed Toolkit Final 20230714_SV_AP NOTES.pdf](#)
- 5b. (8:30 PM) SUMMING UP & RECAP AGENDA FOR SEPTEMBER 4, 2025, EVENING MEETING** 30 Minutes

8. ADJOURNMENT - 9:00 PM

GUIDING PRINCIPLES

Guiding Principle #1 - Preserve the special character of the Island, which includes downtown Winslow's small town atmosphere and function, historic buildings, extensive forested areas, meadows, farms, marine views and access, and scenic and winding roads supporting all forms of transportation.

Guiding Principle #2 - Manage the water resources of the Island to protect, restore and maintain their ecological and hydrological functions and to ensure clean and sufficient groundwater for future generations.

Guiding Principle #3 - Foster diversity with a holistic approach to meeting the needs of the Island and the human needs of its residents consistent with the stewardship of our finite environmental resources.

Guiding Principle #4 - Consider the costs and benefits to Island residents and property owners in making land use decisions.

Guiding Principle #5 - The use of land on the Island should be based on the principle that the Island's environmental resources are finite and must be maintained at a sustainable level.

Guiding Principle #6 - Nurture Bainbridge Island as a sustainable community by meeting the needs of the present without compromising the ability of future generations to meet their own needs.

Guiding Principle #7 - Reduce greenhouse gas emissions and increase the Island's climate resilience.

Guiding Principle #8 - Support the Island's Guiding Principles and Policies through the City's organizational and operating budget decisions.



Planning Commission meetings are wheelchair accessible. Assist listening devices are available in Council Chambers. If you require additional ADA accommodations, please contact the Planning & Community Development Department at (206) 780-3750 or pcd@bainbridgewa.gov by noon on the day preceeding the meeting.

Public Comment may be limited to allow time for the Commissioners to deliberate. To provide additional public comment, email your comment to pcd@bainbridgewa.gov or mail it to Planning and Community Development, 208 Madison Avenue North, Bainbridge Island, WA 98110.



CITY OF
BAINBRIDGE ISLAND

Planning Commission Special Meeting Agenda Bill

MEETING DATE: September 3, 2025

ESTIMATED TIME: 10 Minutes

AGENDA ITEM: (1:10 PM) EXPLANATION OF OBJECTIVES, MATERIALS, FORMAT & SEQUENCE FOR DISCUSSION OF WINSLOW DISTRICT DEVELOPMENT REGULATIONS -

AGENDA CATEGORY: Discussion

PROPOSED BY: Planning &
Community Development

PREVIOUS PLANNING COMMISSION REVIEW DATE(S):

PREVIOUS COUNCIL REVIEW DATE(S):

RECOMMENDED MOTION:

ATTACHMENTS:

[Tovar Memo August 29, 2025.pdf](#)



MEMORANDUM

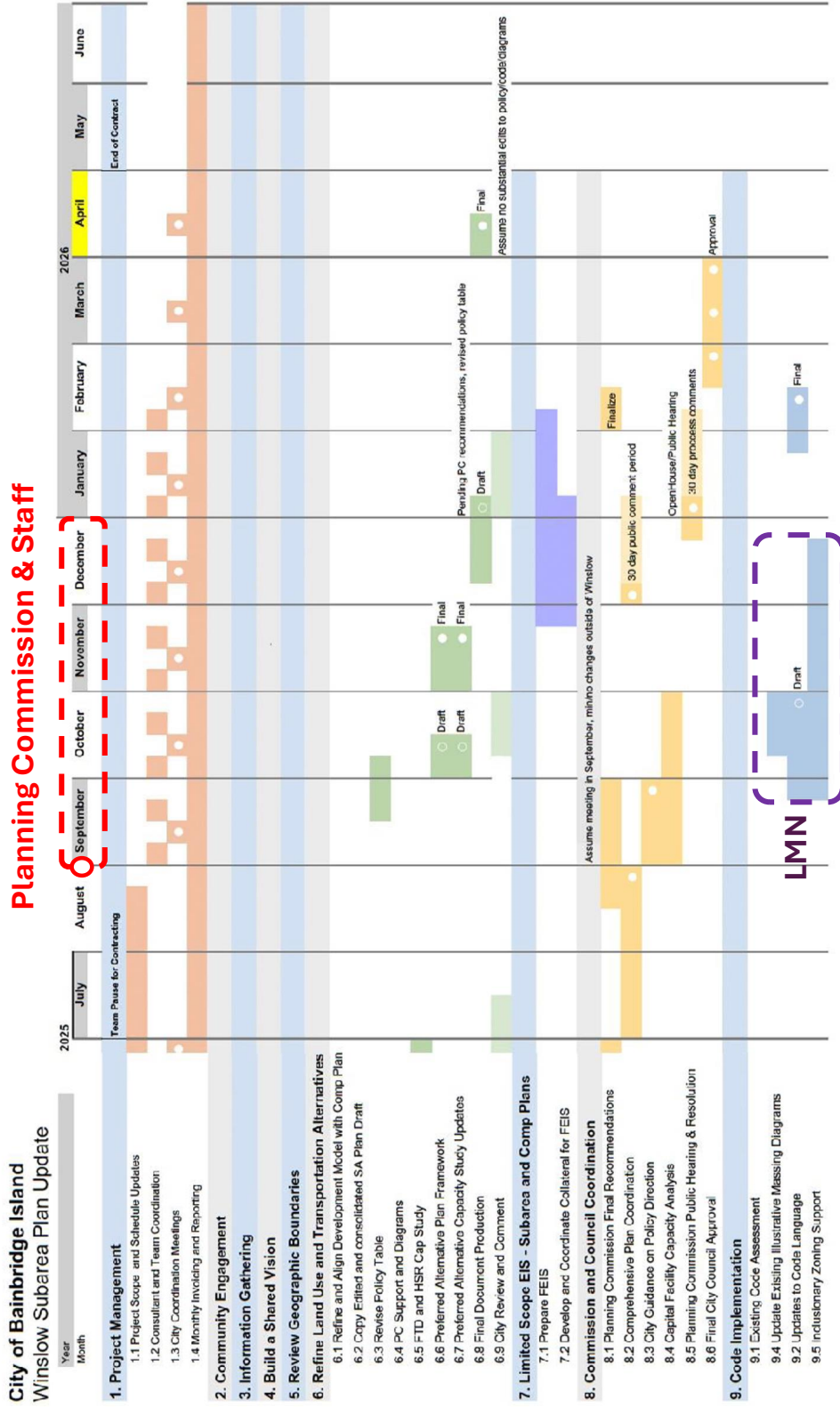
DATE: August 29, 2025
TO: Bainbridge Island Planning Commission
FROM: Joseph W. Tovar, FAICP
SUBJ: Development Regulations discussion at Sep. 3 meeting

As the Commission prepares to begin its detailed discussions of development regulations for the Winslow Subarea, we have prepared the following two things for your use and reference.

The first is a draft schedule showing the overall Periodic Update work to be done over the coming months. The base of this schedule is from the LMN contract which indicates the timing and nature of tasks that Consulting firm will be doing in support of this project. We have superimposed in red on that base an indication of when the Planning Commission and City staff will be working on the development regulations for the Winslow Subarea. It shows that your work on this part of the overall work program will continue into the fall and potentially to the first of the year. It also shows when the LMN Consultant will be working in support of your work.

The second attachment is a revised version of the matrix shared with you in the Memo for last week's meeting. It adds a "permitted use" column and some revised text. This is intended to assist you in organizing your thoughts about the parameters to be addressed in your upcoming discussions for each of the Winslow Districts. As I mentioned last night, while many of these are clearly "standards" the broader and more accurate term describing this part of your work is "development regulations" because it also includes process and criteria for permit review.

Schedule for Planning Commission and staff to draft Development Regulations for the Winslow Subarea with support from Consultants LMN



Attachment 2 – Development Regulations Parameters

DISTRICT	Floor Area Ratio – Base & Bonus ¹	Building Height - Base & Bonus	Permitted Uses	Lot Coverage	Frontage Standards	Overlay Zones	Parking ²	Permit Process ³
High School Road								
Ferry Terminal								
Central Core								
Madison								
Ferncliff								
R-8 Zones								
R-14 Zones								
B/I Zones								

¹ Each district would list a base Floor Area Ratio (FAR) with consideration of clear criteria to achieve any bonus FAR or height, if applicable.

² A major driver of housing costs is parking. [Parking studies in Washington State demonstrate](#) that code required surface level parking frequently results in excess parking, with per stall costs ranging from \$20,000 to \$60,000. Reducing or eliminating parking requirements is one of the “dials” or “levers” that a city could adjust to reduce cost. Recent affordable housing projects on Bainbridge have required as little as .5 stalls/residential unit. Over the past six months, the cities of Bellingham, Bothell, Port Townsend, Shoreline, and Spokane have eliminated minimum residential parking requirements entirely, not just for affordable housing.

³ Creating a more timely and predictable permit process is a GMA Goal and another lever for cities to reduce housing costs. GMA Goal 7 states: “Applications for both state and local government permits should be processed in a timely and fair manner to ensure predictability.” This was also the rationale for HB 1293 which required streamlining city design review processes.



CITY OF
BAINBRIDGE ISLAND

Planning Commission Special Meeting Agenda Bill

MEETING DATE: September 3, 2025 **ESTIMATED TIME:** 2 Hours

AGENDA ITEM:

(1:20 PM)**PLANNING COMMISSION DELIBERATION:** High School Road Regulations; Ferry Terminal District Regulations

AGENDA CATEGORY: Discussion

PROPOSED BY: Planning &
Community Development

PREVIOUS PLANNING COMMISSION REVIEW DATE(S):

PREVIOUS COUNCIL REVIEW DATE(S):

RECOMMENDED MOTION:

ATTACHMENTS:

[Sept 3 PC Land Use Materials.pdf](#)



**CITY OF
BAINBRIDGE ISLAND**

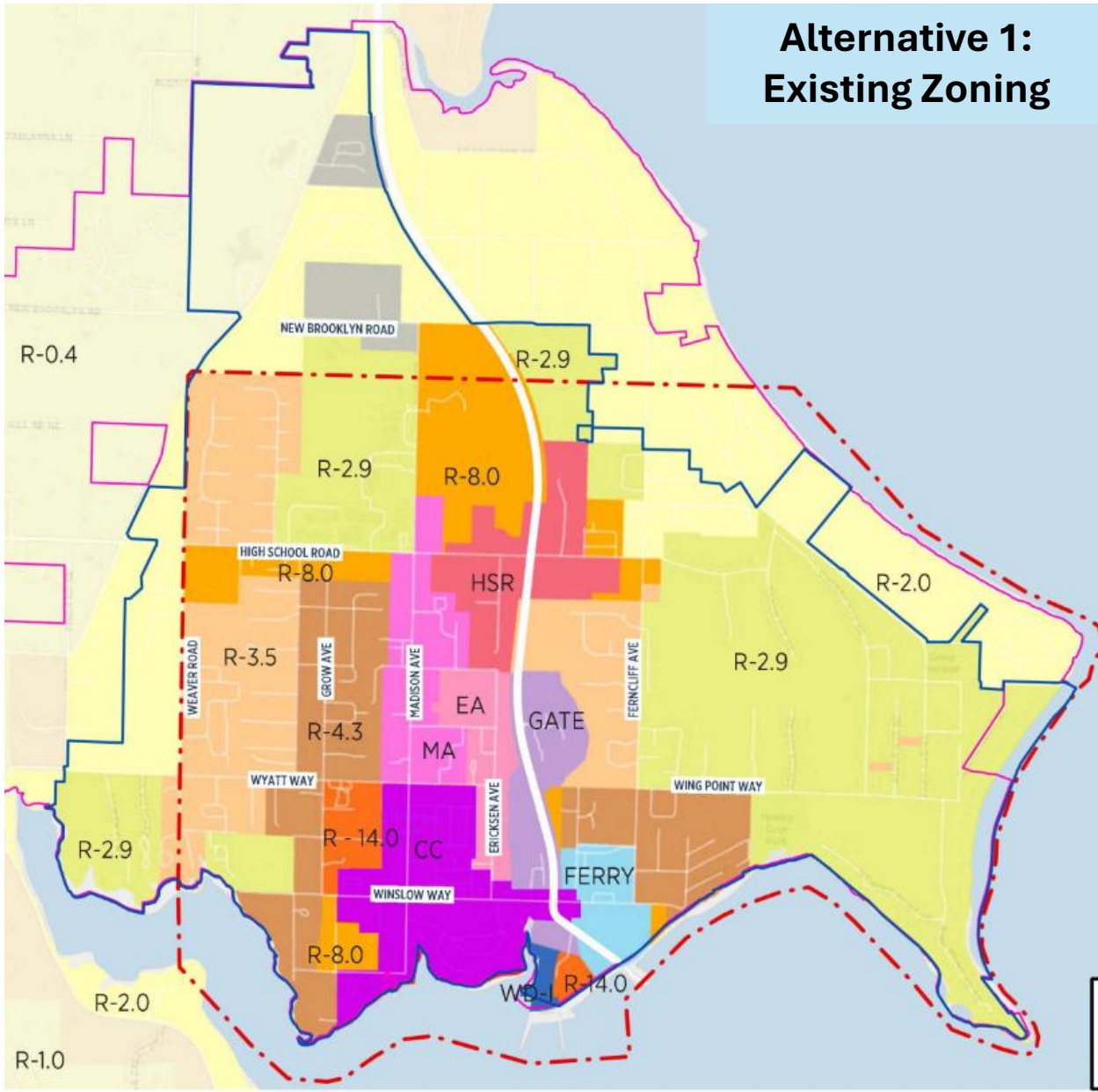
Prepared for:
Planning Commission
Special Meeting

September 3, 2025

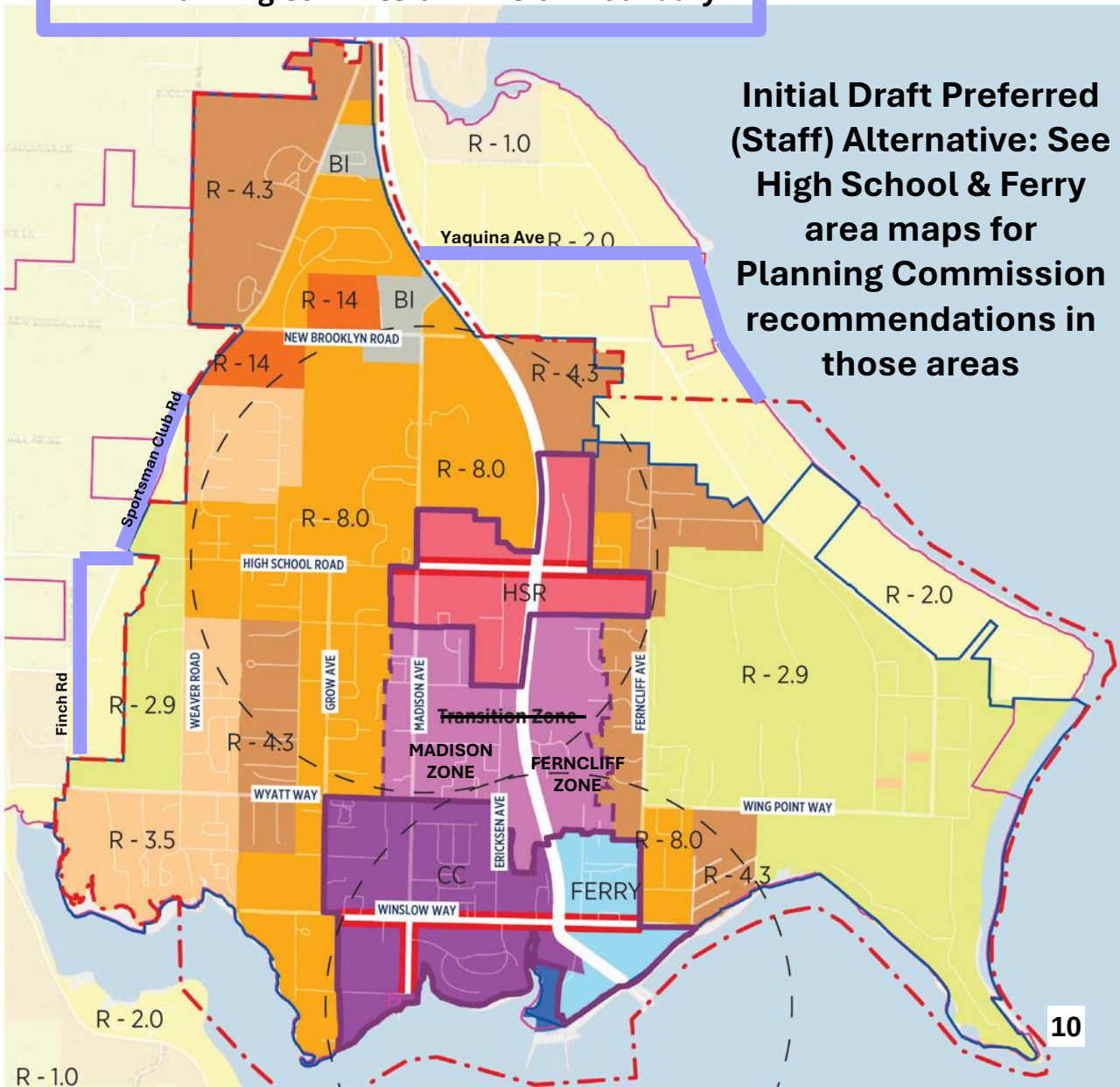
Continued Discussion of Winslow Subarea Plan

Existing & Proposed Alternative Winslow Zoning

**Alternative 1:
Existing Zoning**



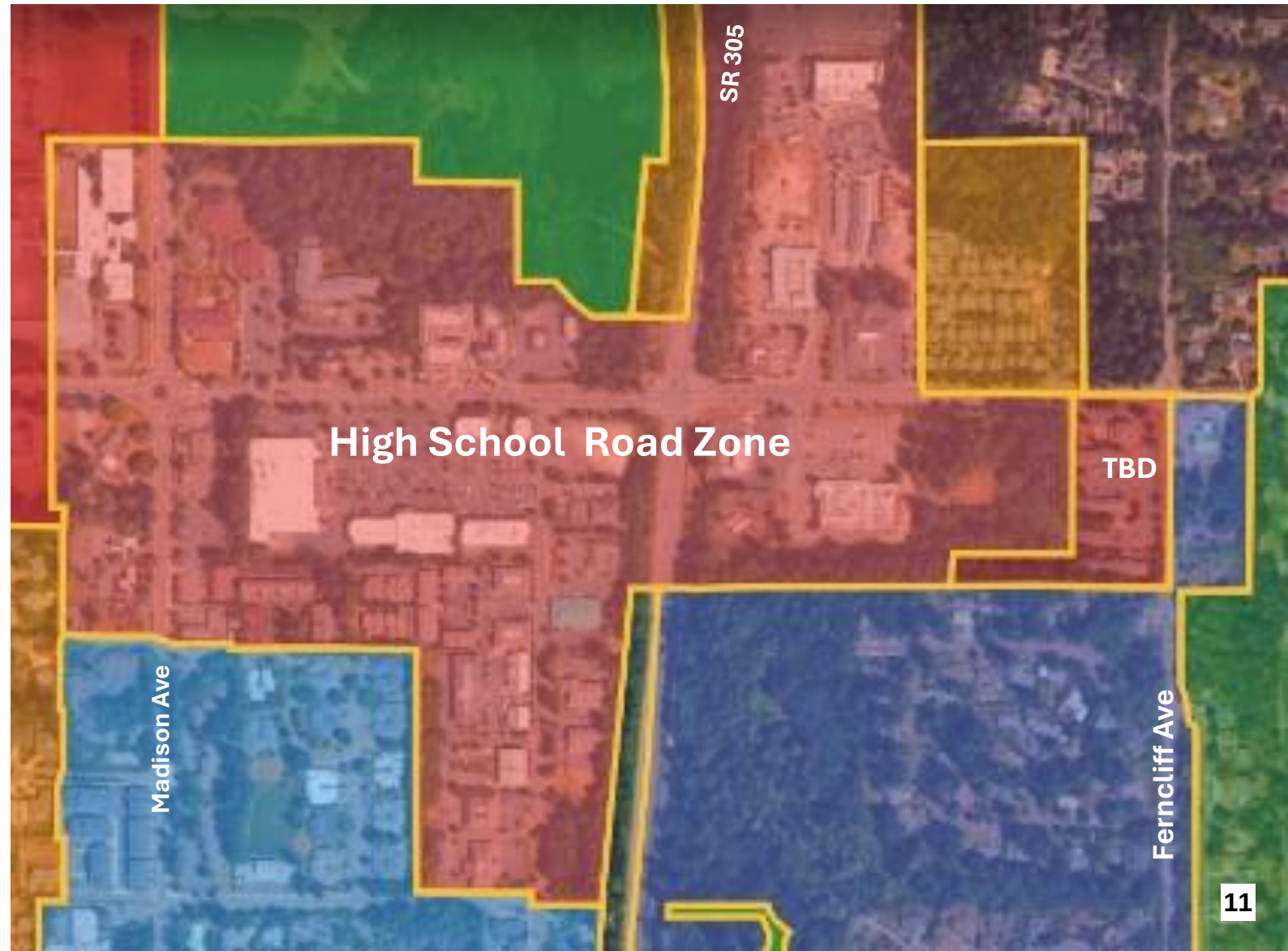
2/27 Planning Commission Winslow Boundary



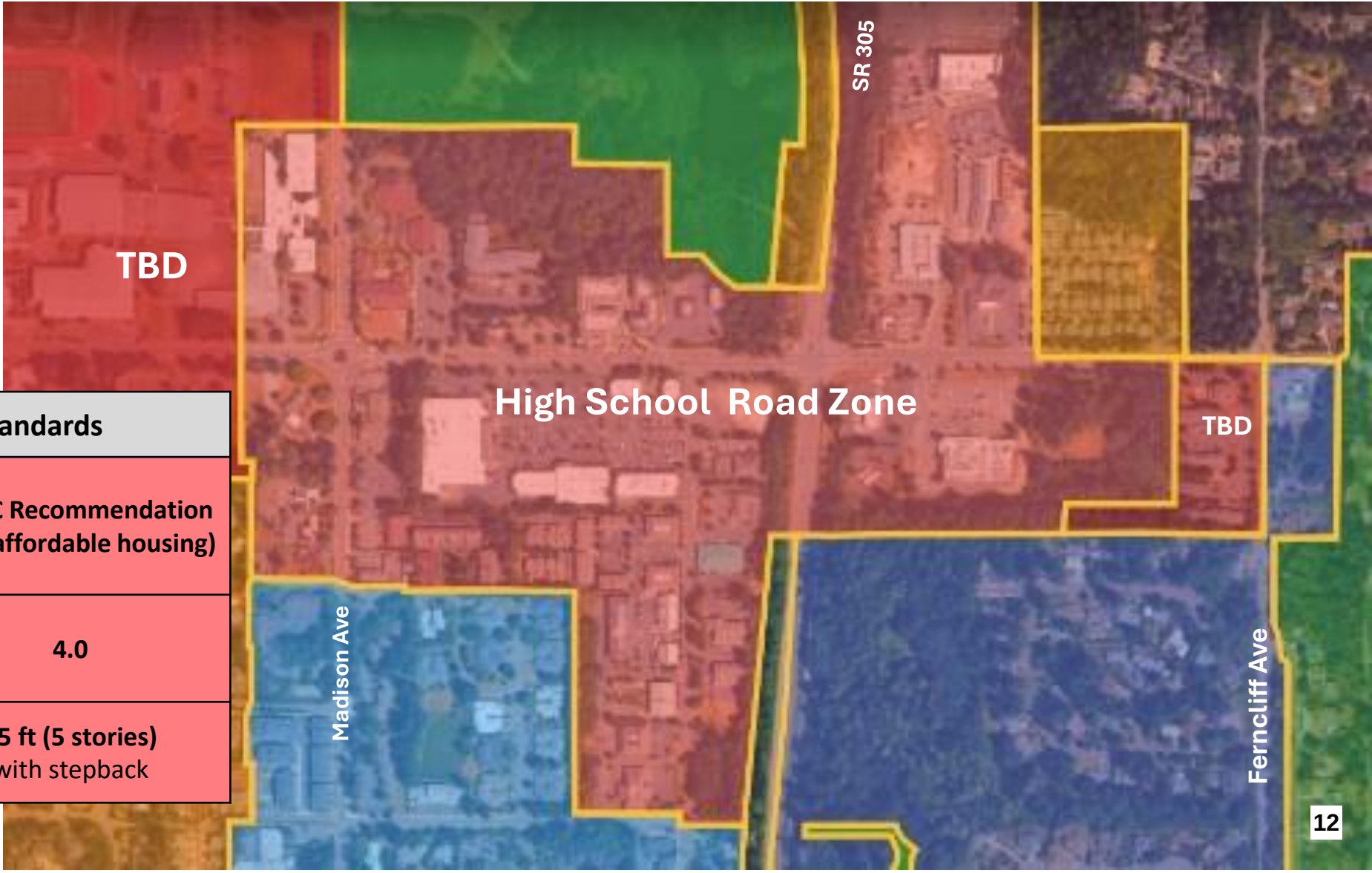
**Initial Draft Preferred
(Staff) Alternative: See
High School & Ferry
area maps for
Planning Commission
recommendations in
those areas**

DRAFT District Character Statement:

High School Road - the High School Road District is designated as the second most intensely developed district on the Island, providing a variety of commercial uses that offer goods and services for the convenience of Island residents. In addition to arterial roads, the district is connected by nonmotorized facilities including the Sound-to Olympics multimodal trail and improved Madison Avenue bike lanes and sidewalks. Multifamily and mixed-use development should replace the large areas of surface parking wherever possible. Schools and commercial uses complement adjacent districts and benefit from automobile access near the highway, while creating a pedestrian-friendly retail area.



HS Road Zone Development Standards		
	Existing Standard	5/8 PC Recommendation (with affordable housing)
Mixed Use Density Floor Area Ratio (FAR)	0.3 (base) 0.9 (max)	4.0
Max. Building Height	45 ft	55 ft (5 stories) with stepback



DRAFT District Character Statement:

Ferry- The Ferry district is a gateway to Bainbridge Island, the Kitsap and Olympic Peninsulas for residents, commuters, and tourists, and is designated as the most intensely developed district on the Island. This District is intended as a pedestrian and transit-oriented hub with multifamily mixed-use buildings that complement the character and vitality of the Core district. Hotels should also be permitted. New development should replace large areas of surface parking wherever possible. Higher density housing is appropriate for this area because of its proximity to the ferry, transit, downtown retail and because it is a prime view location.



Ferry Zone Development Standards		
	Existing Standard	5/1 PC Recommendation (with affordable housing)
Mixed Use Density Floor Area Ratio (FAR)	0.5 (base) 1.4 (max)	4.0
Max. Building Height	45 ft	65 ft (6 stories) with stepback

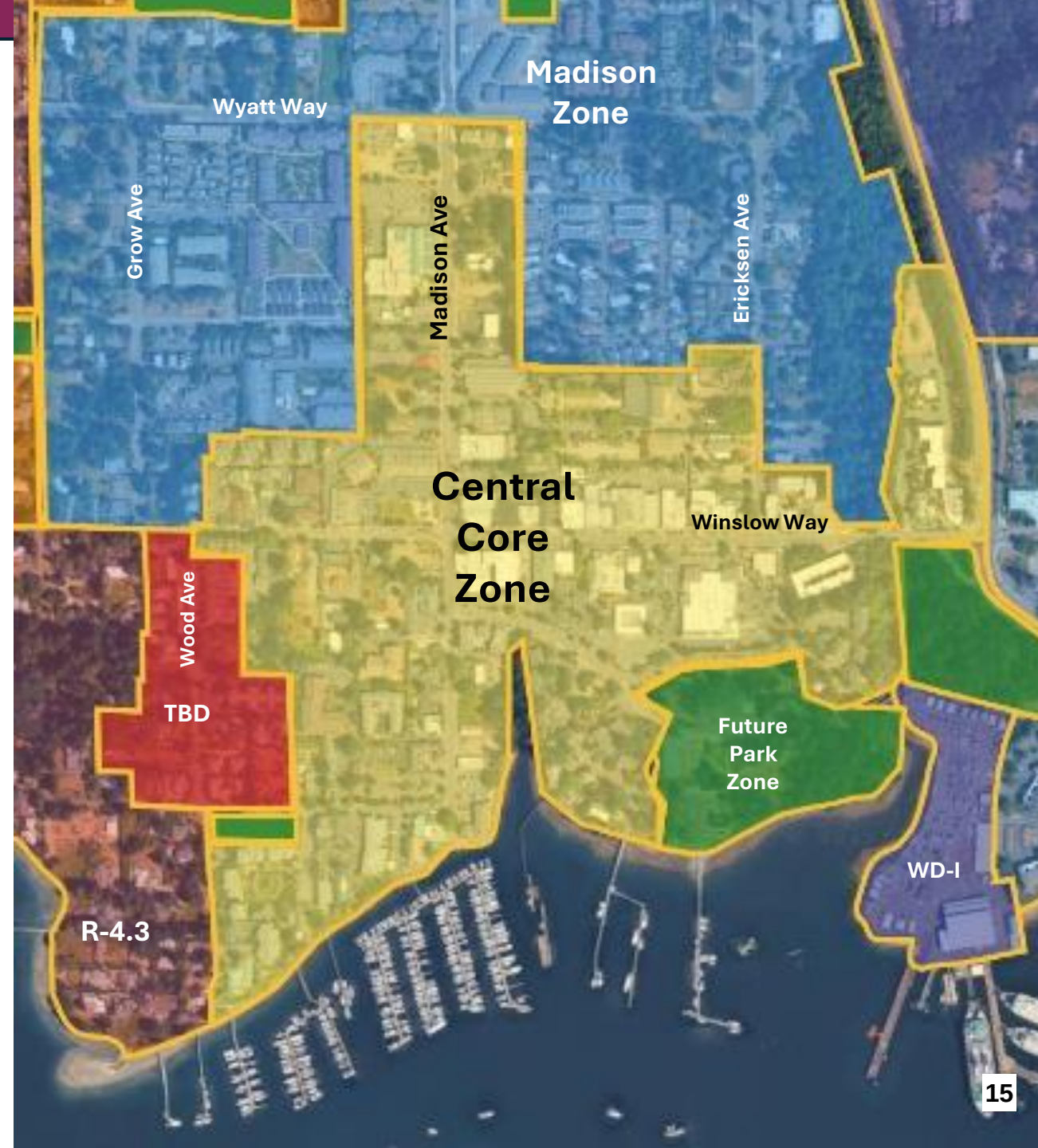


June 5, 2025 Planning Commission Zoning Map: Additional Ideas for Central Core Boundary

Development Standards not completed

DRAFT District Character Statement:

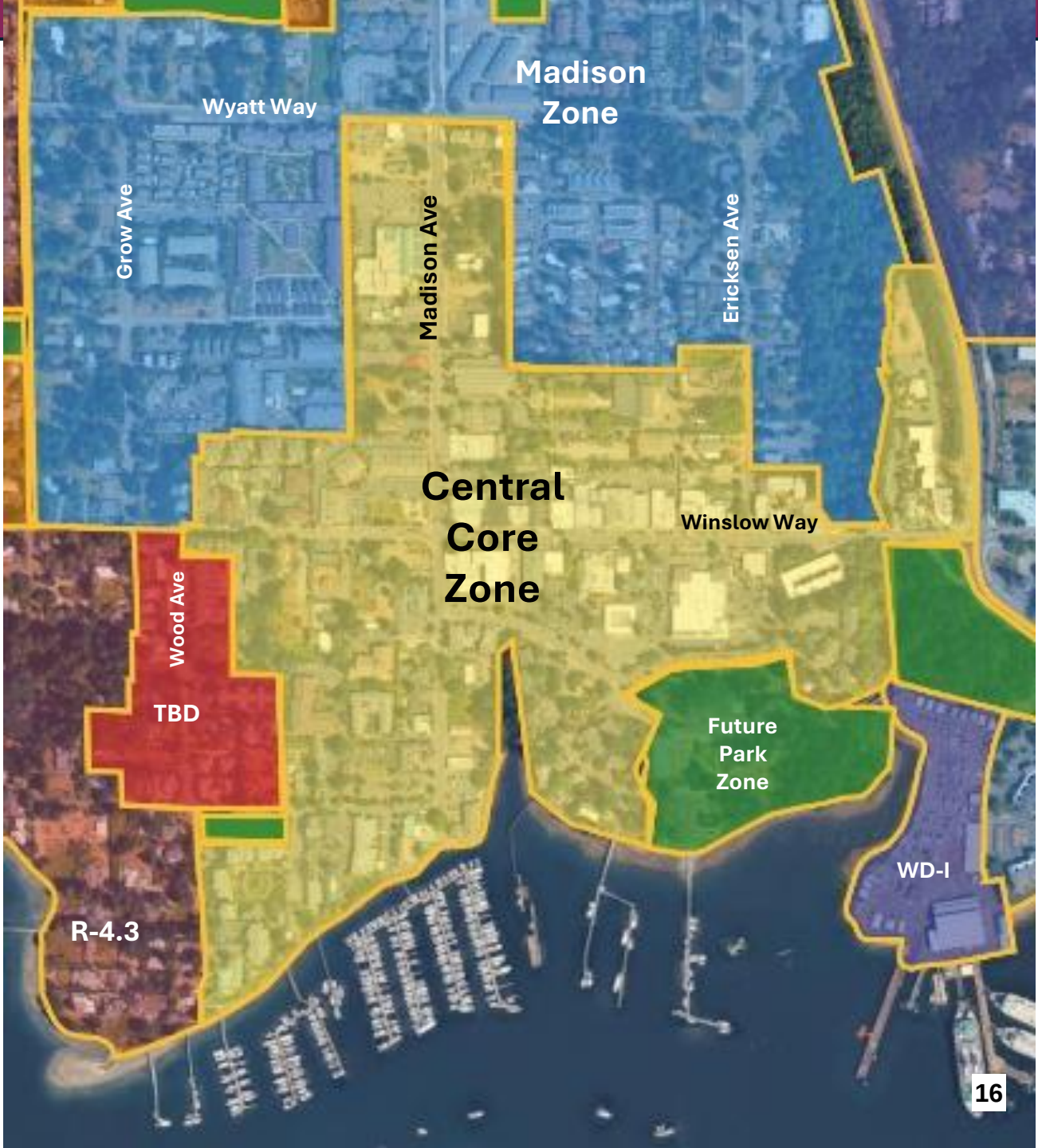
Central Core- The Central Core District serves as the civic and cultural heart of the Island and is the third most intensely developed district after the High School and Ferry districts. Services and activities for both residents and tourists are intermixed. Development is encouraged to provide public enhancements and connections by focusing parking under buildings. Within this district, multifamily and mixed-use development with pedestrian site porosity and dedicated public rights-of-way to enhance the walkability of Winslow are encouraged, but exclusive office and/or retail uses should also be permitted. New development should engage the street with minimal setbacks wherever possible.



June 5, 2025 Planning Commission Zoning Map: Additional Ideas for Central Core Boundary

Development Standards not completed

Development Standards	Central Core Zoning Boundary (6/5 PC Mtg.)	
	Existing Standard	Draft Pref. Alternative
Mixed Use Density FAR	1.0 (base) 1.5 (max)	2.0
Max. Building Height	45 ft	55 ft

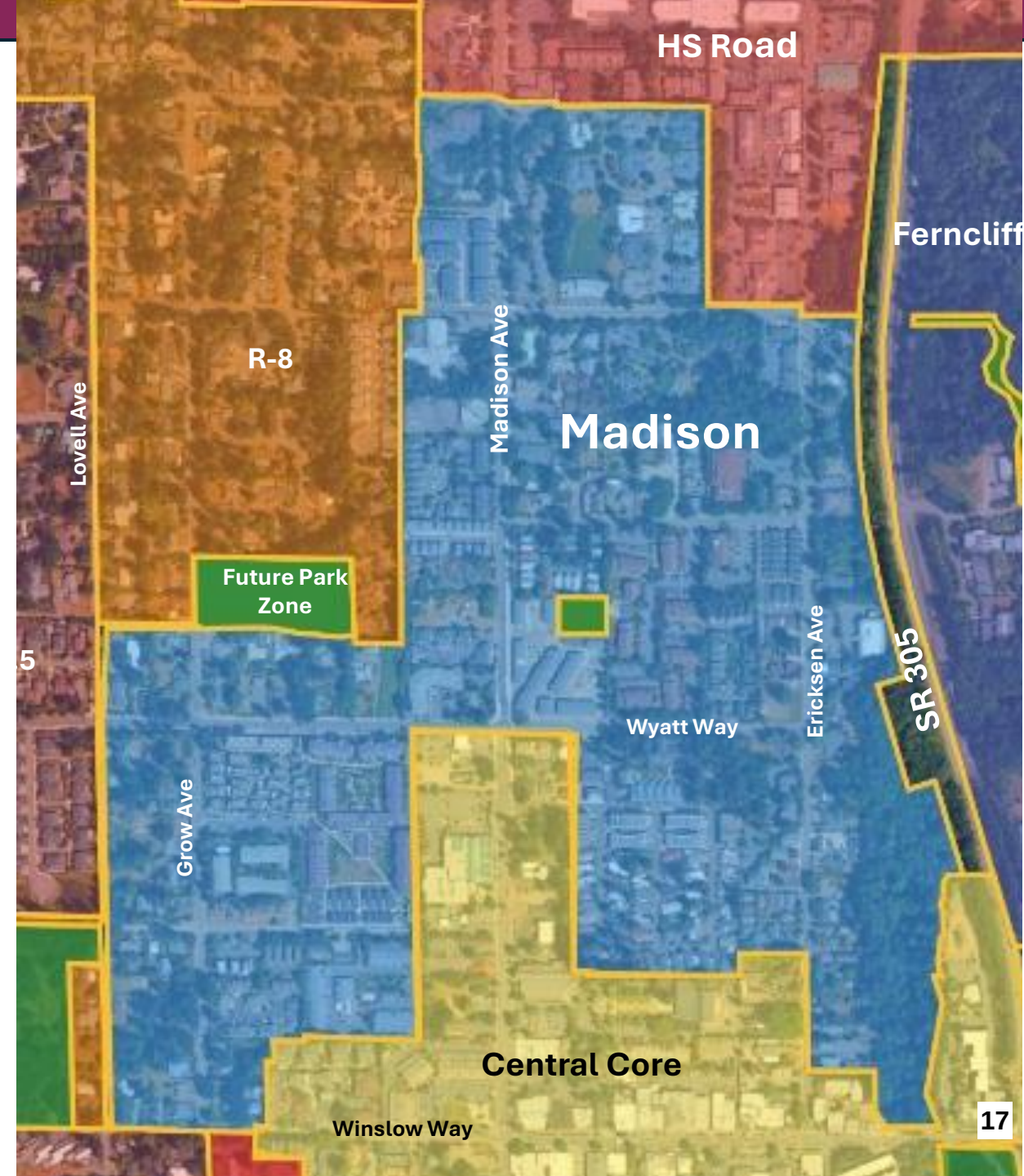


June 5, 2025 Planning Commission Zoning Map: Additional Ideas for Madison Boundary

Development Standards not completed

DRAFT District Character Statement: Madison-

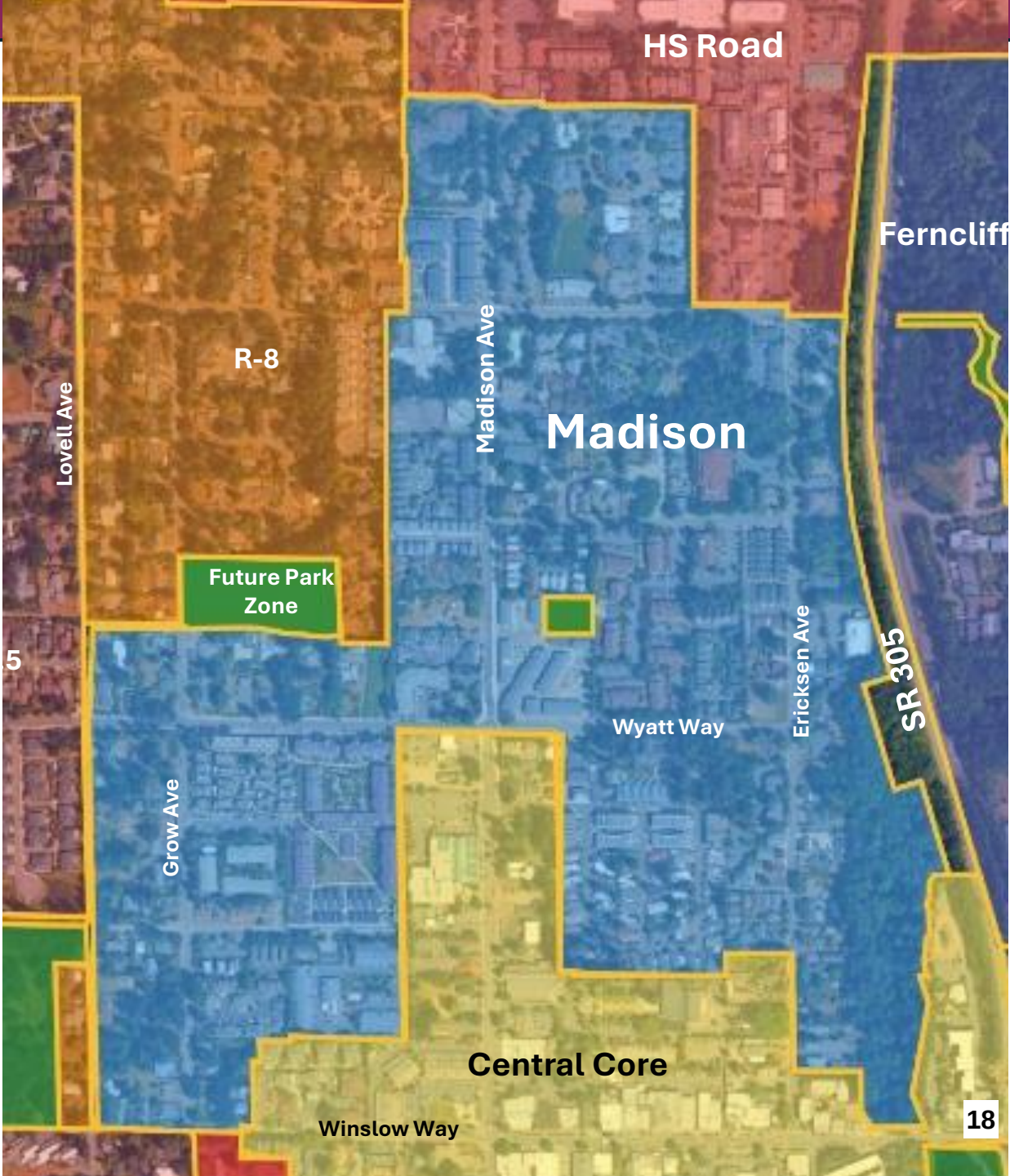
The purpose of the Madison District is to provide for a mix of residential and small-scale commercial development. It serves as a medium density bridge between the Central Core and High School Districts, with an emphasis on “missing middle” housing types. Micro-neighborhoods scattered throughout should provide an opportunity for “surprise” in contrast to the more expansive spaces common in the Central Core and High School districts. It should be as walkable and bikeable as the Central Core, High School, and Ferry Districts. Within the Madison District, all retail and office development should include a residential component. Retail development should be permitted only the ground floor. Residential development would only be required for buildings greater than one story in height, however, single-purpose commercial development should not be permitted as the intent is to achieve urban higher density residential use in this area.



June 5, 2025 Planning Commission Zoning Map: Additional Ideas for Madison Boundary

Development Standards not completed

Development Standards	Madison Zoning Boundary (6/5 PC Mtg.)	
	Existing Standard	Draft Pref. Alternative
Mixed Use Density FAR	0.5 (base) 0.9/1.0 (max)	1.2
Max. Building Height	35 ft	45 ft

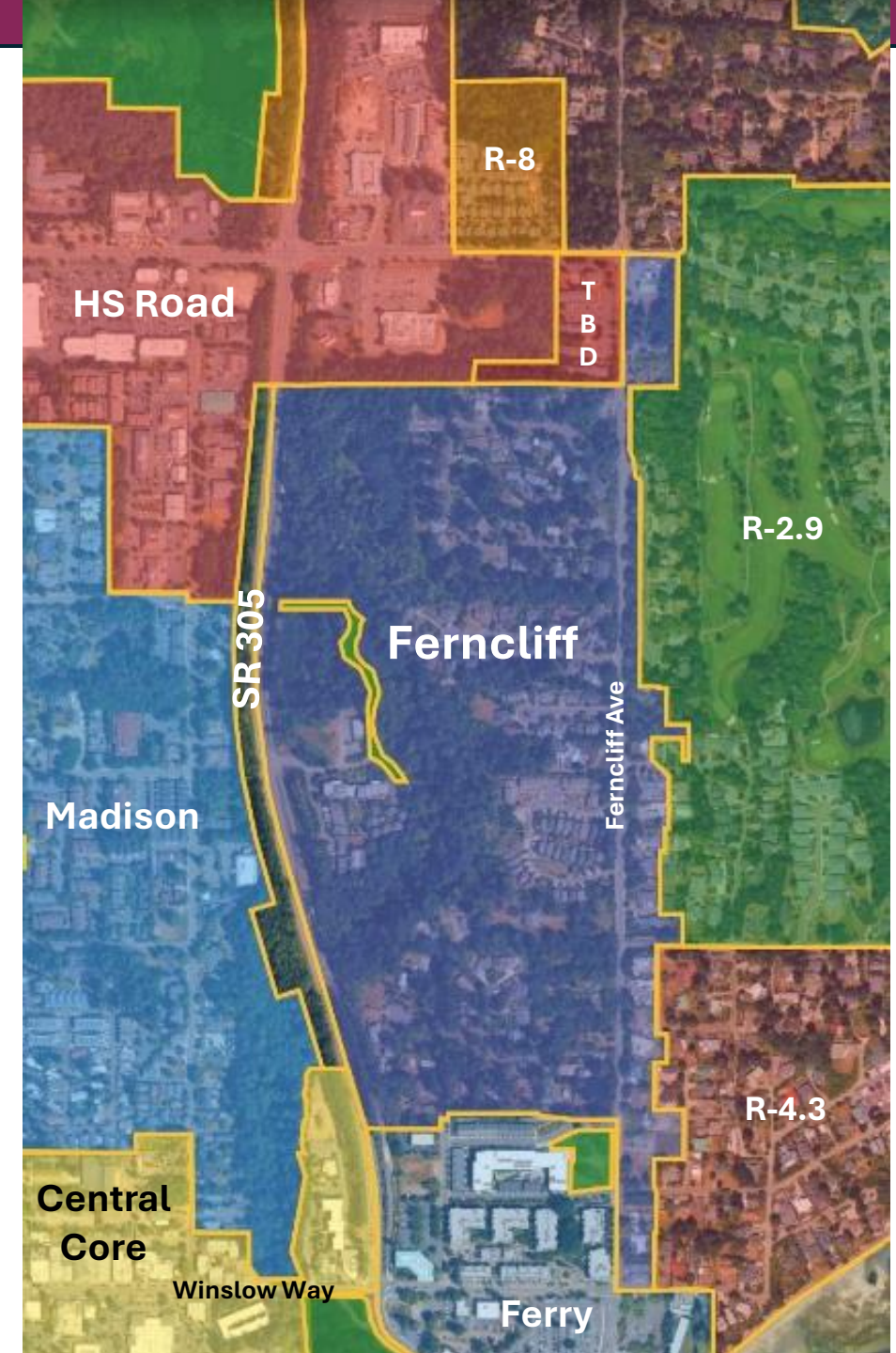


April 2, 2025 Planning Commission Ferncliff Boundary

Development Standards not completed

DRAFT District Character Statement: Ferncliff-

The purpose of the Ferncliff District is to serve as a medium density bridge between the higher density development of the Ferry and High School Road Districts with an emphasis on “missing middle” housing types. Some light intensity mixed use commercial development should be permitted on parcels along Ferncliff Avenue or that adjoin the Ferry or High School Road Districts.

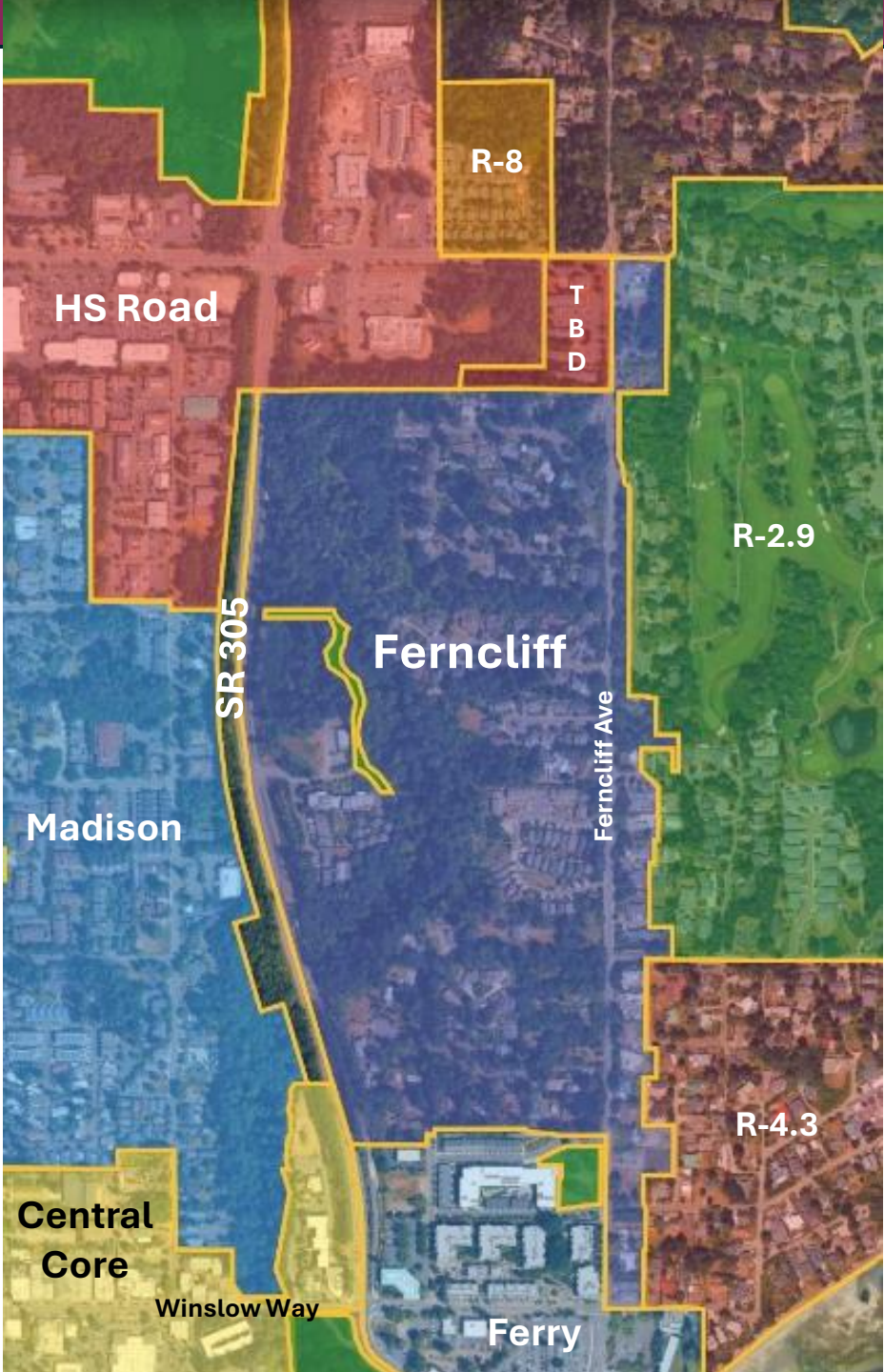


April 2, 2025 Planning Commission

Ferncliff Boundary

Development Standards not completed

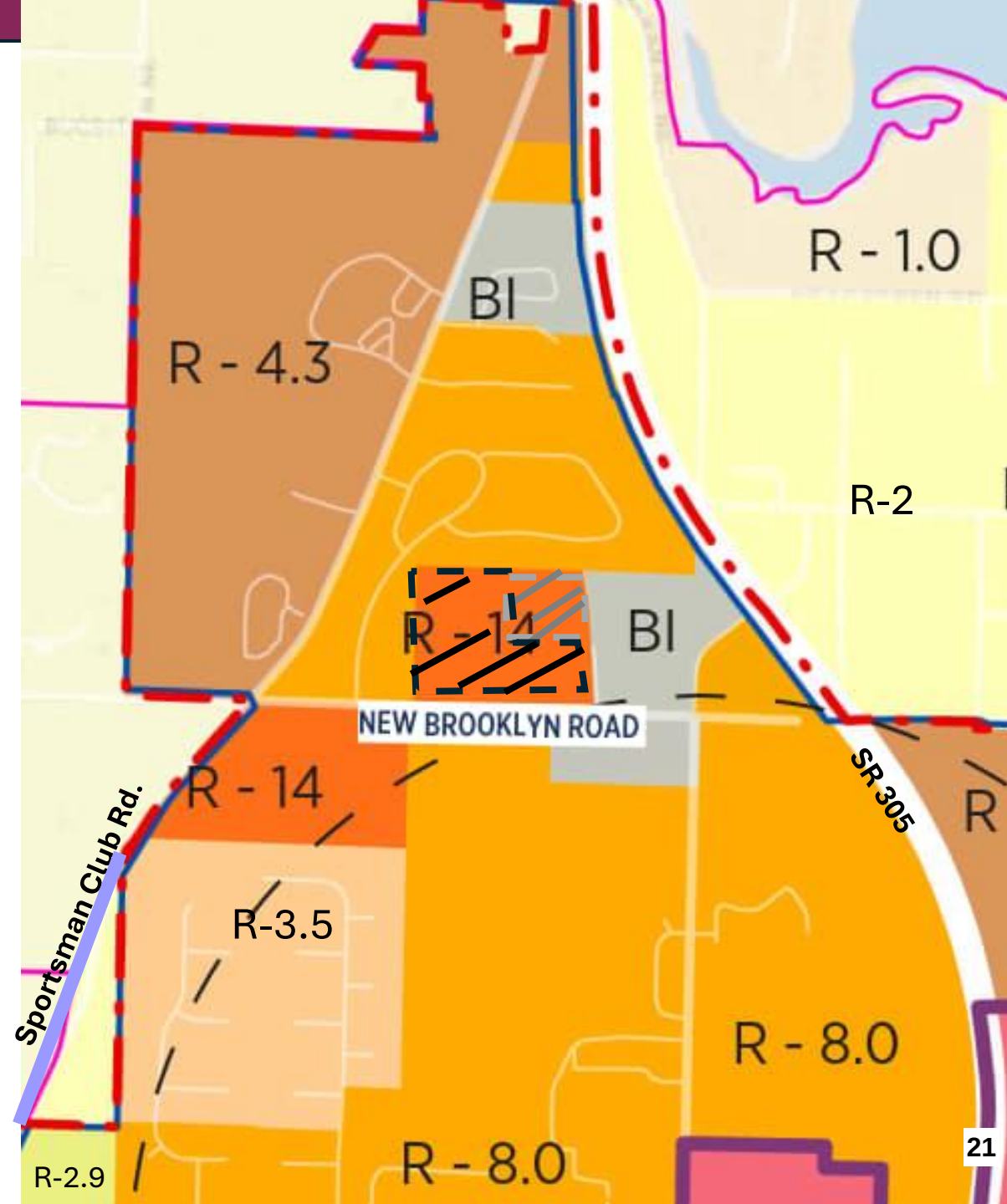
Ferncliff Zones Development Standards		
	Existing Standards (Gateway Zone)	Draft Pref. Alternative
Mixed Use Density FAR	0.5 (base) 1.0 (max)	1.2
Max. Building Height	45 ft	45 ft



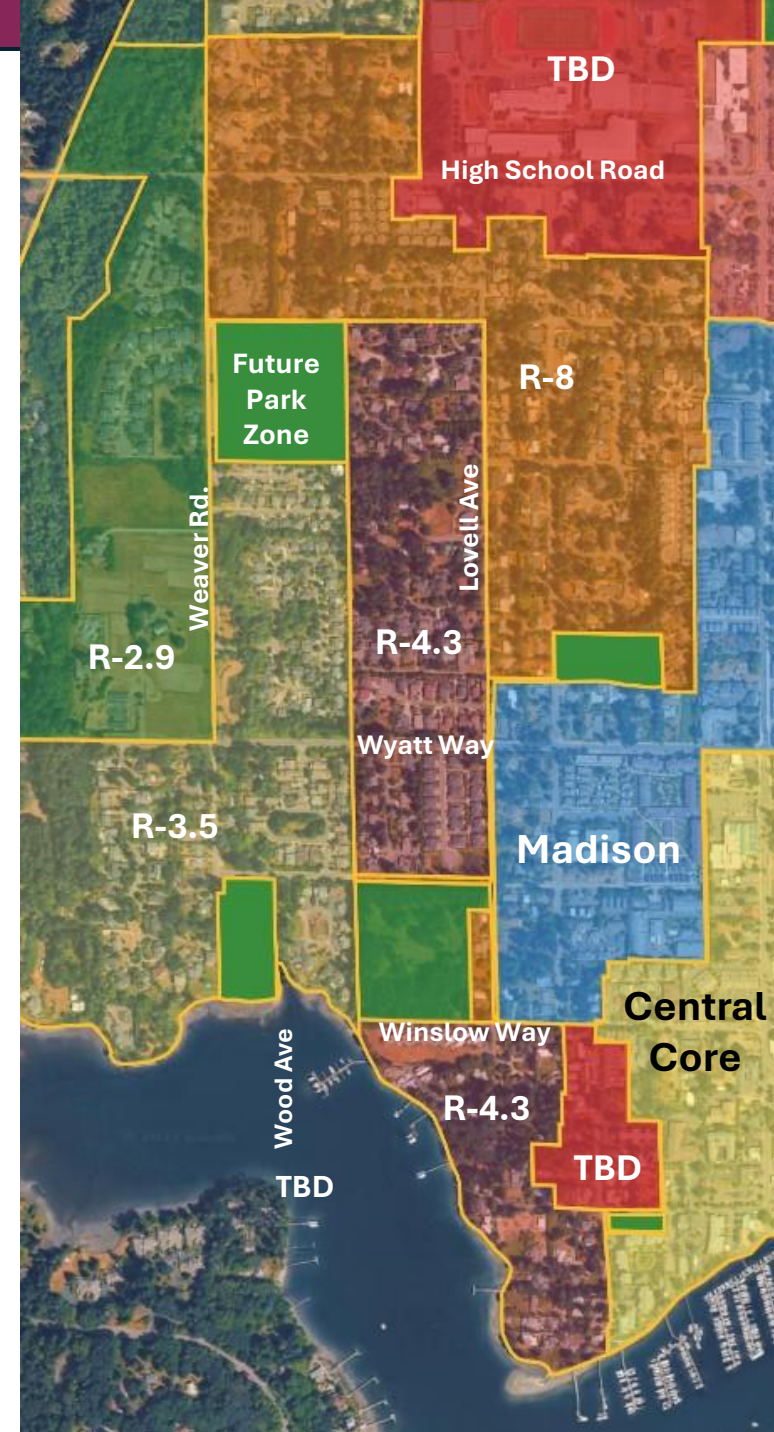
Draft Alternative Zoning NW Winslow + Planning Commission Discussion

Keep B/I Zoning for “The Farm” (4/22 PC Mtg.)

Recommend
Mixed Use Zone TBD
(4/22 PC Mtg.)



**June 5, 2025 Planning Commission
Zoning Map: Additional Ideas for
SE Winslow Residential Boundaries
not completed**





CITY OF
BAINBRIDGE ISLAND

Planning Commission Special Meeting Agenda Bill

MEETING DATE: September 3, 2025

ESTIMATED TIME: 10 Minutes

AGENDA ITEM: (3:20 PM to 3:30 PM) Break

AGENDA CATEGORY: Discussion

PROPOSED BY: Planning &
Community Development

PREVIOUS PLANNING COMMISSION REVIEW DATE(S):

PREVIOUS COUNCIL REVIEW DATE(S):

RECOMMENDED MOTION:



CITY OF
BAINBRIDGE ISLAND

Planning Commission Special Meeting Agenda Bill

MEETING DATE: September 3, 2025

ESTIMATED TIME: 60 Minutes

AGENDA ITEM: (3:30 to 4:30 PM) **PLANNING COMMISSION DELIBERATION** - Central Core District Regulations

AGENDA CATEGORY: Discussion

PROPOSED BY: Planning &
Community Development

PREVIOUS PLANNING COMMISSION REVIEW DATE(S):

PREVIOUS COUNCIL REVIEW DATE(S):

RECOMMENDED MOTION:



CITY OF
BAINBRIDGE ISLAND

Planning Commission Special Meeting Agenda Bill

MEETING DATE: September 3, 2025 **ESTIMATED TIME:** 2 Hours

AGENDA ITEM:

(6:30 PM to 8:30 PM) **PLANNING COMMISSION DELIBERATION** - Madison District Regulations; Ferncliff District Regulations

AGENDA CATEGORY: Discussion

PROPOSED BY: Planning &
Community Development

PREVIOUS PLANNING COMMISSION REVIEW DATE(S):

PREVIOUS COUNCIL REVIEW DATE(S):

RECOMMENDED MOTION:

BACKGROUND:

[Planning for Middle Housing – Washington State Department of Commerce](#)

ATTACHMENTS:

[4 Middle Housing PSR ODS Detailed Toolkit Final 20230714_SV.pdf](#)

[Pages from 4 Middle Housing PSR ODS Detailed Toolkit Final 20230714_SV_AP NOTES.pdf](#)



Traditional Neighborhood Design: Middle Housing Toolkit of Objective Development + Design Standards **Puget Sound Region | Detailed Standards**

June 30, 2023



Washington State
Department of
Commerce



Acknowledgments

Washington State Department of Commerce

Michael Fong, Director

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General Notes

City staff is advised to analyze whether adoption of any of the Middle Housing Toolkit standards conflicts with State law as applicable to your city and its zoning districts.

In order to put any of the Middle Housing Toolkit standards into effect, the city must adopt the standards and identify to which parcels the standards apply.

Many of these standards will be most effective and make a greater contribution to the visual qualities of an area if they are also applied to detached homes in the same area.

Each overlay zone that the city chooses to apply must be shown on the city's zoning map or another exhibit and needs to identify to which parcels the overlay zone and its standards applies. The User Guide provides guidance for where to apply each of the four overlay zones.

Toolkit Summary of Objective Design Standards

The table below identifies the chapters provided in the Basic Standards, the available Detailed Standards, and key differences between the two. The jurisdiction is advised to analyze whether adoption of any of the Middle Housing Toolkit standards conflicts with State law as applicable to the jurisdiction and its zoning districts.

Many of the Detailed Standards will be most effective and make a greater contribution to the visual qualities of an area if they are also applied to detached homes in the same area.

This page to be removed after City selects content from this Detailed Toolkit of standards.

Basic Standards Content	Detailed Standards Content	Notes About Detailed Content
Ch. 1 Introduction and Applicability	None	
Ch. 2 Overlay Zones and Standards	Ch. 2 Overlay Zones and Standards (if selected, replaces Basic Chapter 2)	<i>Provides more flexible setback standards, and detailed standards for building and massing types. Each overlay zone allows a subset of 8 Middle Housing types. The base version regulates only by maximum footprint and height.</i>
Ch. 3 Site Development Standards	Ch. 3 Site Development Standards (if selected, replaces Basic Chapter 3)	<i>Provides detailed standards for fences/walls, landscaping and lighting, on-site parking, and sloped lots. The Basic version only regulates sloped lots.</i>
	Ch. 4 Building Types	<i>Provides a spectrum of 8 Middle Housing building types and 9 massing types with standards tailored for each type, as compared to the Basic Standards that regulate lot coverage and do not use building types.</i>
#A1. Frontage Types	#A2. Frontage Types (if selected, replaces Basic Chapter #A1)	<i>Provides 2 additional frontage types and more detailed standards.</i>
	#B. Architectural Standards	<i>Provides standards for regulating architectural details, not style (i.e., façade composition, bays, materials, and window details).</i>
	#C. Large Site Standards	<i>Provides design standards for parcels at least 5 acres in size.</i>
	#D. Streetscapes and Public Open Spaces	<i>Provides thoroughfare and public open space standards to be used on sites 5 acres or larger.</i>
#E1. Administration	#E2. Administration (if selected, replaces Basic Chapter #E1)	<i>Additional allowed adjustments to support Detailed content.</i>
#F1. Definitions and Measurements	#F2. Definitions and Measurements (if selected, replaces Basic Chapter #F1)	<i>Additional definitions and measurement methods to support Detailed content.</i>

= Chapter to be numbered after City determines which, if any, Detailed Chapters are to be added to the Detailed Content.

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Chapter 2: Overlay Zones and Standards

Sections:

2.010	Purpose
2.020	General Standards
2.030	Neighborhood Residential Overlay.Small 1 (NRO.S1)
2.040	Neighborhood Residential Overlay.Small 2 (NRO.S2)
2.050	Neighborhood Residential Overlay.Medium 1 (NRO.M1)
2.060	Neighborhood Residential Overlay.Medium 2 (NRO.M2)

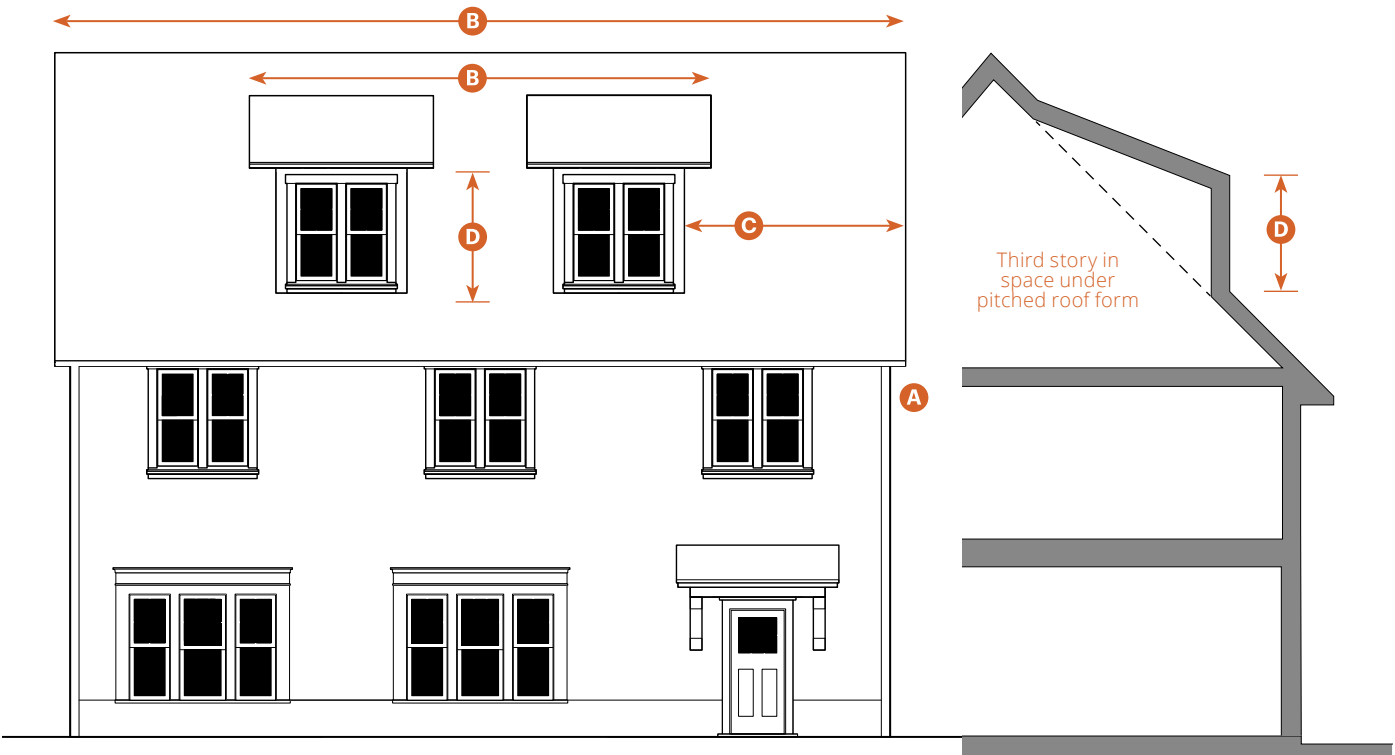
2.010	Purpose
	This Chapter provides four different sets of standards to implement Middle Housing and support the variety of intended physical character.

2.020	General Standards
	1. These standards of this Title use a palette of four overlay zones to regulate and generate the intended physical character. Each overlay zone regulates the following topics: A. Intent: the intended physical character; B. Building type and design site size: the menu of allowed building types and the associated minimum design site dimensions; C. Building placement: the minimum to maximum building setbacks and requirements for façade design; D. Frontages: the menu of allowed frontage types required at building entries along thoroughfares and shared yard spaces; E. Building form: the maximum overall building height or stories and minimum ground floor height; and F. Parking: the required location and design requirements for parking and vehicle access.

Editing the Content.
Each page in this Toolkit is provided as detailed content ready for your further customization to your city's needs.

2. The design site size standards for each building type are set in each overlay zone to generate pedestrian-oriented buildings within the overall intended physical character of each overlay zone. The design site size standard identifies the range of design site sizes on which the given building type is allowed to be built.
3. Individual building types have specific standards in Chapter 4 in addition to the zone standards to further calibrate each type for its context.
4. The standards for each zone assume a single building on a lot. Projects that include one or more existing buildings or more than one new building are additionally subject to Section 2.020.13 (Multiple Buildings on a Site). For standards regarding accessory structures, see [Section xx.xx.xxx in City's zoning code](#).
5. Standards shall be applied to irregularly-shaped lots in compliance with Section #F2.030 (Measurement Methods).
6. Lots with slopes $\geq 10\%$ are additionally subject to Section 3.040 (Slope Standards).
7. Frontage types are provided in Chapter #A1. These are not included in the building footprint maximums, and are allowed to encroach into required front and side street setbacks by up to 5 feet, provided minimum clearance is maintained. For all other encroachments, see [City standards](#).
8. Townhomes may be divided vertically into flats.
9. Bicycles may be parked anywhere on the design site, in compliance with pedestrian and vehicular access standards.
10. On-Site Parking
 - A. Design sites with alley access must take parking access from alley. Corner design sites without alleys must take parking access from side street.
 - B. Parking spaces may be grouped with those on adjacent design sites [see Figure 2.020.4 (Applying Design Sites on a Pedestrian Circulation Network)] and may be detached from development sites within the same block or across a passage.
 - C. Curb cuts and driveways may be shared between design sites, but shall not exceed 12' unless the driveway is 150' or more in length.
 - D. Subterranean Parking and semi-subterranean garages are subject to the following provisions:
 - (1) Fully-subterranean garages are exempt from the required parking setbacks.
 - (2) Semi-subterranean garages are allowed to project above the adjacent finished grade by up to 4 feet.
11. Half Stories. Where the maximum height limit is 1.5 or 2.5 stories, the roof of the main body shall be pitched, and all habitable space shall be under the roof form. Dormer windows may be provided per Figure 2.020.1 (Half Story Standards).
12. Where flat roofs are provided, a decorative parapet is required to conceal all roof areas/equipment from view of a public street or space. The parapet shall match the materials and finished used on the building walls.

Figure 2.020.1 Half Story Standards



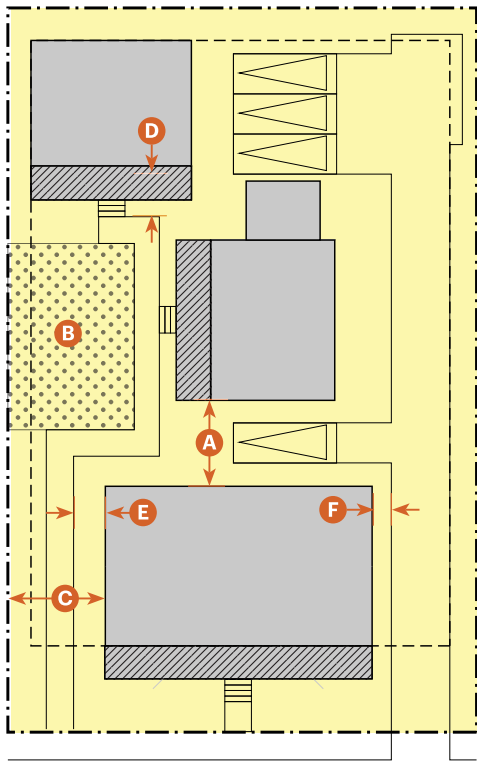
Half Stories Standards		
Eave	8" min. or profiled	A
Min. Pitch	2 in 12	
Dormer Window(s)		
Length	Facing street or shared yard: total width not to exceed 50% of associated roof length. Not facing street or shared yard: no max.	B
Separation from Edge	2'	C
Height (max.)	6'	D

Project Size. City to decide if proposed thresholds are to be decreased or increased (e.g., change 5 acre threshold to 4 acres).

13. Multiple Buildings on One Site. Projects which propose more than one building on a single parcel (excepting Cottage Housing and accessory structures) are subject to the requirements of Table 2.020.A, which identifies criteria for applicability to each set of standards.
- A. The standards of this subsection are in addition to the standards of the zone unless stated otherwise.
- (1) All buildings not fronting a street must front shared yard space.
- (a) Buildings fronting shared yard space must take primary access from the shared yard and include a frontage type on each unit or building entry.
- (b) Encroachments into the shared yard space are not allowed.
- (c) Parking and vehicular access are not allowed to encroach into shared yard.
- B. Using Design Sites. A design site is a parcel or portion of land within a parcel that is delineated from other design sites and/or parcels to accommodate one building type (see Chapter 4, Building Types). A parcel can include multiple design sites, in compliance with Subsection 2 of the overlay zone. Design sites are treated like parcels for the purpose of applying development standards, but are not required to be legally subdivided into individual parcels.
- C. Multiple Buildings on One Site. Projects which propose more than one building on a single parcel (excepting Cottage Housing and accessory structures) are subject to the requirements of Table 2.020.A identifies criteria for applicability to each set of standards.

Table 2.020.A Applicability of Requirements for Multiple Buildings on One Site		
Project Size	Project Criteria	Requirement
Width: ≤ 100' and depth: ≤150'	Multiple buildings are proposed on a lot	Compliance with the standards in Figure 2.020.2 (Multiple Buildings on One Site)
Area: ≥ 15,000 sf and < 5 acres	Parcel(s) front(s) onto an existing public street	Compliance with the standards in Figure 2.020.3 (Applying Design Sites on Existing Right-of-Way Network)
Area: < 5 Acres	Parcel(s) do(es) not front onto an existing public street	Compliance with the standards in Figure 2.020.4 (Applying Design Sites on a Pedestrian Circulation Network)
Depth or length: ≥ 700'	700' or more of the parcel(s) is along or perpendicular to an existing thoroughfare	Walkable Neighborhood Plan in compliance with Section #C.020
Area: ≥ 3 acres	Parcel(s) is a through-lot	
Area: ≥ 5 Acres	Parcel(s) do(es) not front onto an existing public street	

Figure 2.020.2 Multiple Buildings on One Site



Multiple Buildings

Lot Coverage

Building footprints only	60%
--------------------------	-----

Building Size^{1,2}

Detached house	30' x 30' max. (1.5 stories max.)
----------------	--------------------------------------

Buildings with > 1 unit	48' x 48' max.
-------------------------	----------------

Building Separation

Clear space between adjacent buildings	10' min. A
--	-------------------

Shared Yard for Lot

Area (up to 5 buildings)	20' x 30' min. clear B
Area (6 or more buildings)	20% of the lot min.; one dim. at least 20'

Opening to Front or Side Street	12' C
---------------------------------	--------------

Shared yard shall not be combined with or encroached by vehicular access or parking areas.

Shared Yard shall be located behind front setback and at least 30' from rear parcel boundary

Building Type¹

Only the Duplex Side by Side, Duplex Stacked, Triplex/ Fourplex, and Townhouse building types are allowed for this development type.

Key

--- ROW/ Property Line	▨ Frontage Area
.... Setback Line	▤ Shared Yard
■ Building	

Pedestrian Access

Pedestrian Path Setbacks		
From Building Entrance	10' min.	D
From Side of Building	8' min.	E

Frontage Area along Shared Yard Space

Required for full length of building at all façades adjacent or abutting a pedestrian path or shared yard space. At least 2/3 of the building must abut the shared yard space.

Vehicle Access and Parking

Distance from Buildings	5' min.	F
-------------------------	---------	----------

Driveway and parking location shall comply with standards in Subsection 6 of the zone.

¹ Projects using this section shall only include building types allowed in the zone, are subject only to the standards of Subsection 3 of the selected building type(s), and are exempt from design site size requirements.

² Detached house exempt from building type and design site requirements

Multiple buildings on a site. The standards of this section require that buildings all front a shared space that is not shared with vehicles, limits the size of building footprints, and encourages buildings with more than one unit.

Figure 2.020.3 Applying Design Sites on Existing Right-of-Way Network

Note to City :

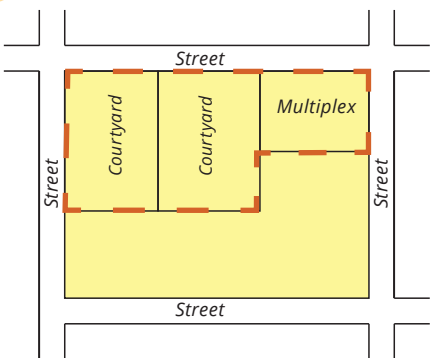
Overlay(s) to be mapped by City on official zone map or other supplemental diagram/map.

1 Identify Zone(s)



1. Identify Zone(s)
 - A. See Overlay Zone Map.
 - B. See Chapter 2 (Overlay Zones and Standards) for design site requirements.

2 Apply Design Sites



2. Apply Design Sites
 - A. Each design site is required to front onto the adjacent street. Where there are two adjacent streets, the design site(s) may front on either in compliance with the standards.
 - B. Select only 1 building type for each design site from the allowed building types for the zone and apply the required dimensional standards. (See Subsection 2 of each zone in Chapter 2).

3 Place Buildings

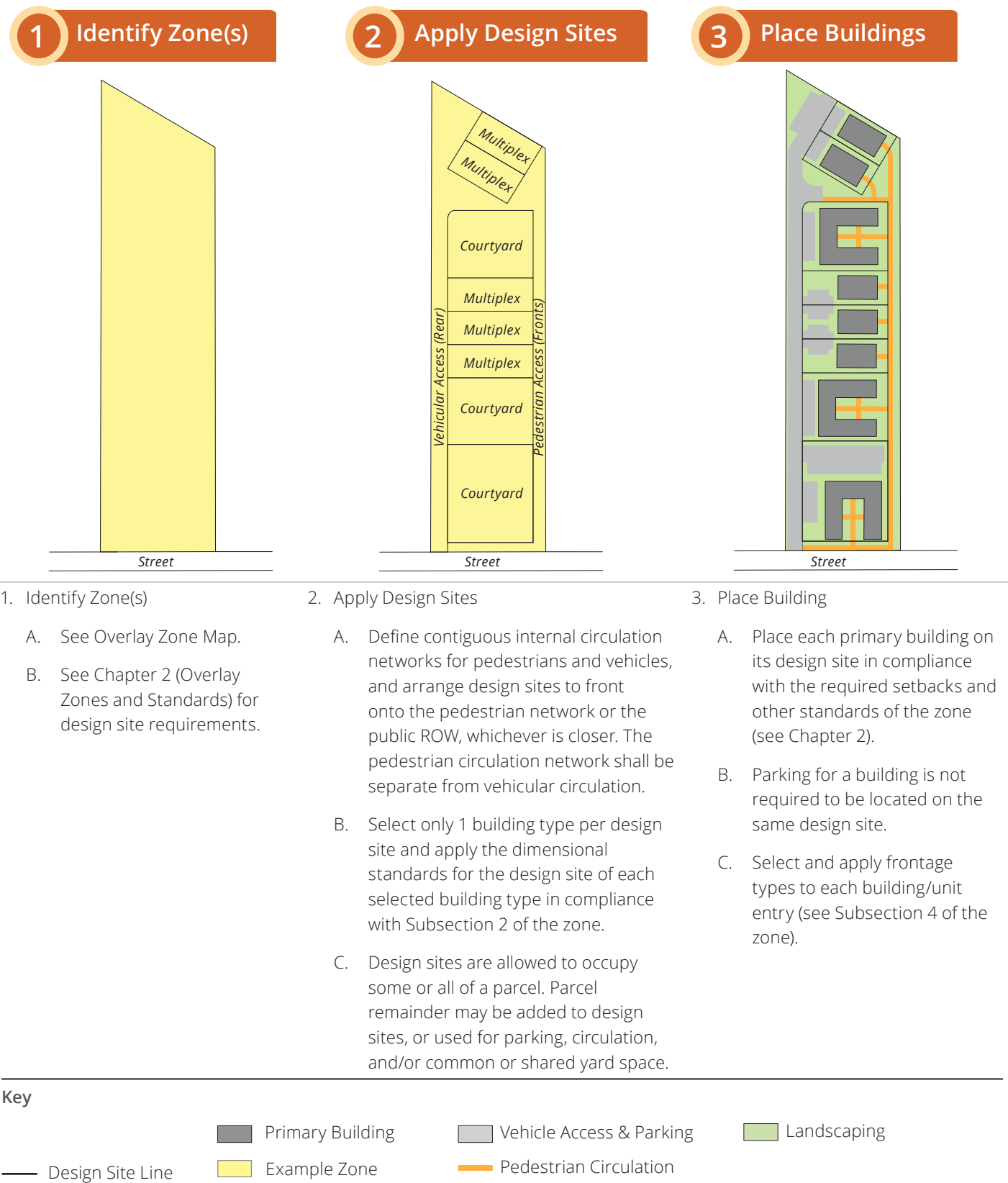


3. Place Buildings
 - A. Place each primary building on its design site in compliance with the required setbacks and other standards of the zone (see Chapter 2).
 - B. Each building is required to front onto the adjacent street or shared yard space.
 - C. Select and apply frontage types to each building/unit entry (see Subsection 4 of the zone).

Key

- | | | | |
|------------------|------------------|--------------------------|-------------|
| Project Area | Primary Building | Vehicle Access & Parking | Landscaping |
| Design Site Line | Example Zone | Pedestrian Circulation | |

Figure 2.020.4 Applying Design Sites on a Pedestrian Circulation Network



1. Identify Zone(s)

A. See Overlay Zone Map.

B. See Chapter 2 (Overlay Zones and Standards) for design site requirements.

2. Apply Design Sites

A. Define contiguous internal circulation networks for pedestrians and vehicles, and arrange design sites to front onto the pedestrian network or the public ROW, whichever is closer. The pedestrian circulation network shall be separate from vehicular circulation.

B. Select only 1 building type per design site and apply the dimensional standards for the design site of each selected building type in compliance with Subsection 2 of the zone.

C. Design sites are allowed to occupy some or all of a parcel. Parcel remainder may be added to design sites, or used for parking, circulation, and/or common or shared yard space.

3. Place Building

A. Place each primary building on its design site in compliance with the required setbacks and other standards of the zone (see Chapter 2).

B. Parking for a building is not required to be located on the same design site.

C. Select and apply frontage types to each building/unit entry (see Subsection 4 of the zone).

Key

■

 Primary Building

■

 Vehicle Access & Parking

■

 Landscaping

—

 Design Site Line

■

 Example Zone

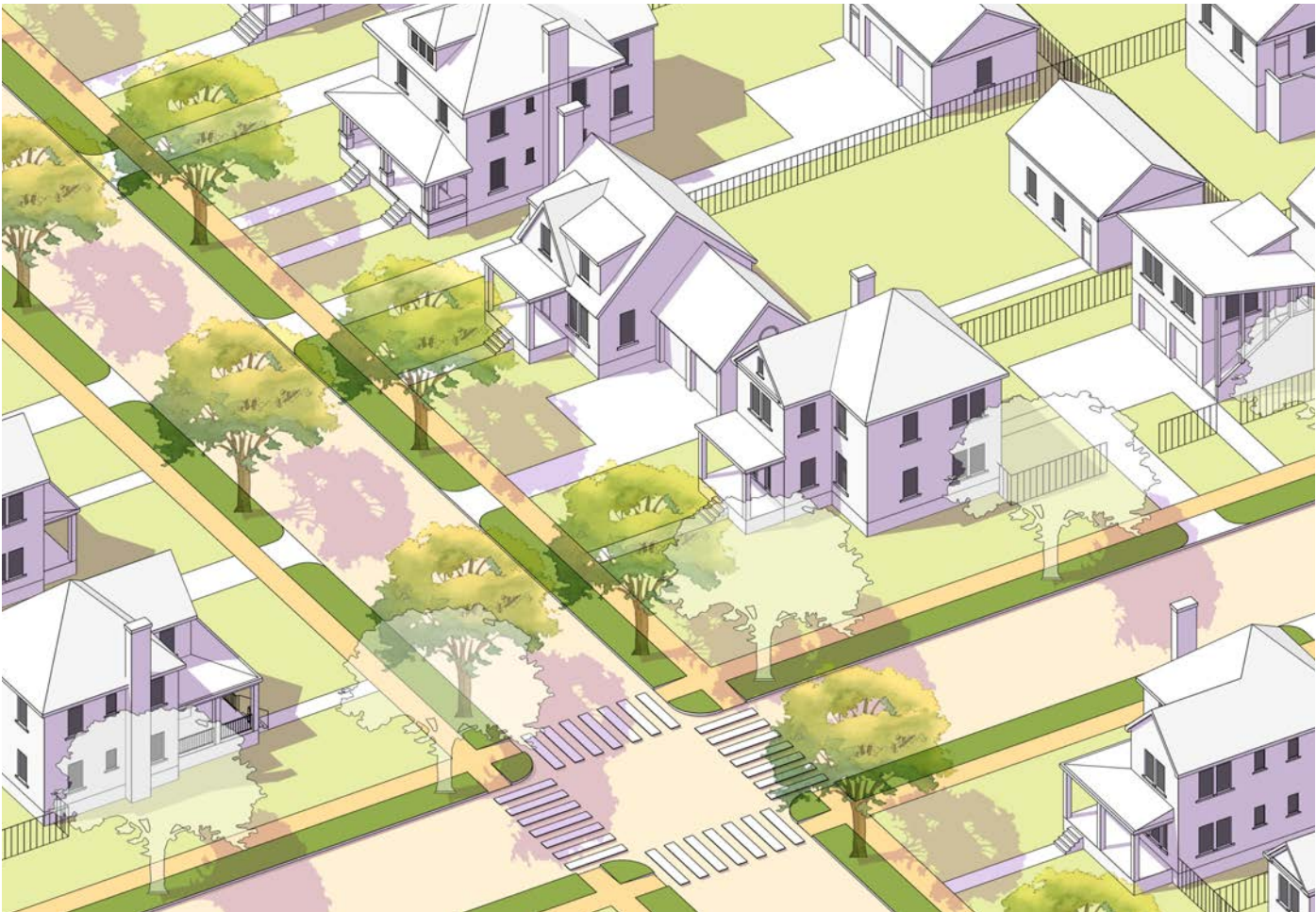
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 Pedestrian Circulation

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2.030

Neighborhood Residential Overlay.Small 1 (NRO.S1)

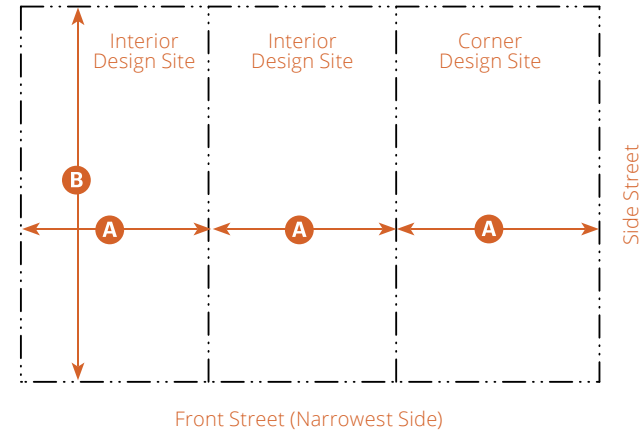


City to decide if
Overlay zone name
to be revised or
replaced.

General note: the illustrations above are intended to provide a brief overview of the zone and are descriptive in nature.

1. Intent	
A neighborhood environment of small-to-medium footprint, low-to-moderate-intensity housing choices.	
The following are generally appropriate form elements in the zone.	
House-Scale Buildings: Duplex Side-by-Side, Duplex Stacked, Cottage Housing, and Triplexes/Fourplexes, and multiple buildings on one lot	Medium Front Setbacks
Small-to-Medium Building Footprints	Small-to-Medium Side Setbacks
	Up to 2.5 Stories
	Porch Projecting, Porch Engaged, and Dooryard Frontage Types

Façade Zone. This approach provides a minimum and maximum building setback to allow for creativity in building façade design while positively shaping the streetscape.



Key

--- ROW/ Design Site Line

2. Building Types and Design Site Size

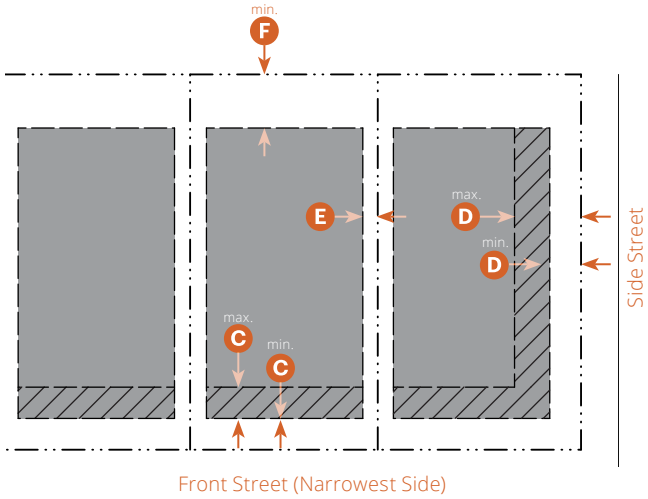
Allowed Building Types	Design Site ¹		Standards
	Width A	Depth B	
Duplex Side-by-Side	46' min.	85' min.	4.030
Duplex Stacked	44' min.	95' min.	4.040
Cottage Housing	100' min.	120' min.	4.050
Triplex/Fourplex	46' min.	97' min.	4.060

Each design site shall have only one primary building type except cottage housing.

¹As required by Table 2.020.A, design sites are required to include public open space and new thoroughfare(s) per Chapter #C (Large Site Standards).

Design Site Coverage

Coverage (max.)	Maximum footprint allowed for selected Type(s).
-----------------	---



Key

--- ROW/ Design Site Line

--- Building Setback Line

■ Building Placement Area

▨ Façade Zone

3. Building Placement

Setback (Distance from ROW/ Design Site Line)²

Front (Façade Zone)	15' min.; 25' max.	C
Side Street (Façade Zone)	5' min.; 15' max.	D
Side	5' min.	E
Rear	15' min.	F

Building Façade

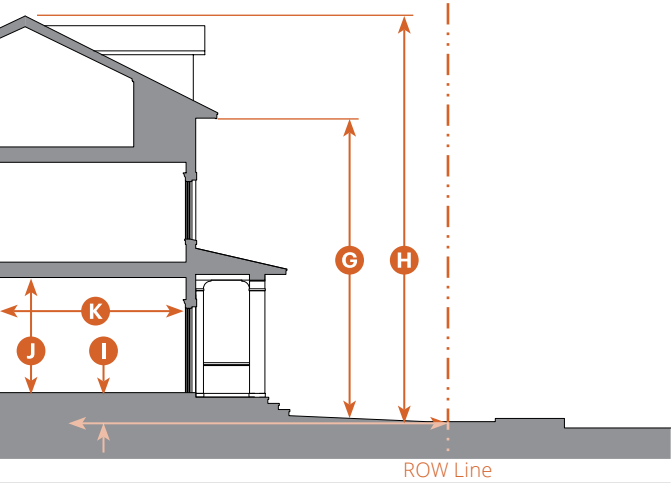
Façade Zone	Front St.	Side St.
Total length of façade defined by building and frontage type required within or abutting the façade zone.	60% min.	50% min.

²Design sites with slopes $\geq 10\%$ shall comply with Section 3.040 (Slope Standards).

4. Frontage

A private frontage type is required at building and/or unit entries along a thoroughfare or publicly accessible space.

Allowed Frontage Types	Standards
Porch Projecting	#A2.040
Porch Engaged	#A2.050
Dooryard	#A2.060

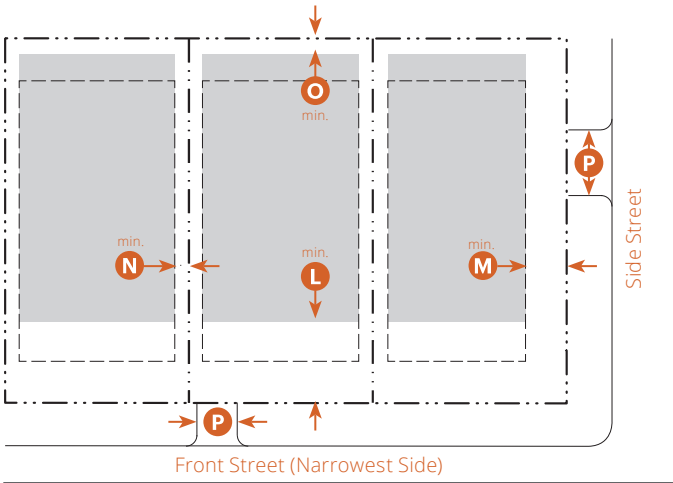


Key
--- ROW Line

5. Building Form		
Height		
Primary Building ³		
Stories	2.5 max.	
To Highest Eave/Parapet	22' max.	G
Overall	35' max.	H
Ground Floor Finish Level	6" min. ⁴	I
Ground Floor Ceiling	9' min.	J
Footprint		
See Chapter 4 (Building Types)		
Depth, Ground-Floor Space		K
Cottage Housing	20' min.	
All Other Building Types	30' min.	
Where provided, dormer windows shall be in compliance with Figure 2.020.1 (Half Story Standards).		

³See Chapter 4 (Building Types) for refinements to massing and height standards.

⁴Common entries may be set at grade in compliance with local and federal accessibility standards.



Key
--- ROW/ Design Site Line
--- Building Setback Line
■ Parking Area

6. Parking		
Spaces Required (per unit)	Vehicular ⁵	Bicycle
Within 1/2 mile of transit stop	None required	1 min.
Not within 1/2 mile of transit stop		
Lot ≤ 6000 sf	1 min.; 1 max	1 min.
Lot > 6000 sf	1 min.; 1.5 max	1 min.
Setback (Distance from ROW/ Design Site Line)		
Front	50' min. ⁶	L
Side Street	25' min.	M
Side	5' min.	N
Rear	5' min.	O
Driveway	One-Way	Two-Way
Curb Cut/Width	12' max.	Not Allowed P

⁵See Subsection 3.030 for additional standards.

⁶ 10' min. allowed for parking court of 6 or fewer spaces. See Figure 3.030.1 (Shared Parking Court).

Building Height.

There is a considerable difference between a 35' tall building with a flat roof and one with a pitched roof. Consider setting a lower height for roof eaves where existing buildings are up to 2 stories.

Parking setbacks.

The intent of these standards is to locate vehicle parking to the rear portion of each lot to present pedestrian-orientated buildings and streetscapes instead of parking lots.

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2.040 Neighborhood Residential Overlay.Small 2 (NRO.S2)



City to decide if
Overlay zone name
to be revised or
replaced.

General note: the illustrations above are intended to provide a brief overview of the zone and are descriptive in nature.

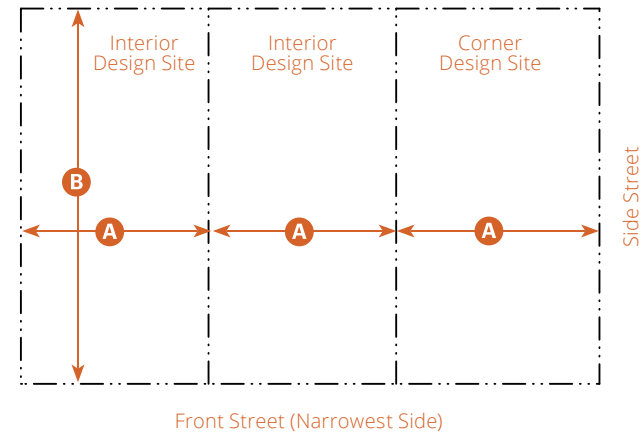
1. Intent

A neighborhood environment of small-to-medium footprint, low-to-moderate-intensity housing choices.

The following are generally appropriate form elements in the zone.

House-Scale Buildings: Duplex Side-by-Side, Duplex Stacked, Cottage Housing, Triplexes/Fourplexes, Side Courts, Townhouses, and multiple buildings on one lot	Medium Front Setbacks
	Medium Side Setbacks
	Up to 2.5 Stories
	Porch Projecting, Porch Engaged, Dooryard, and Stoop Frontage Types
Small-to-Medium Building Footprints	

Façade Zone. This approach provides a minimum and maximum building setback to allow for creativity in building façade design while positively shaping the streetscape.



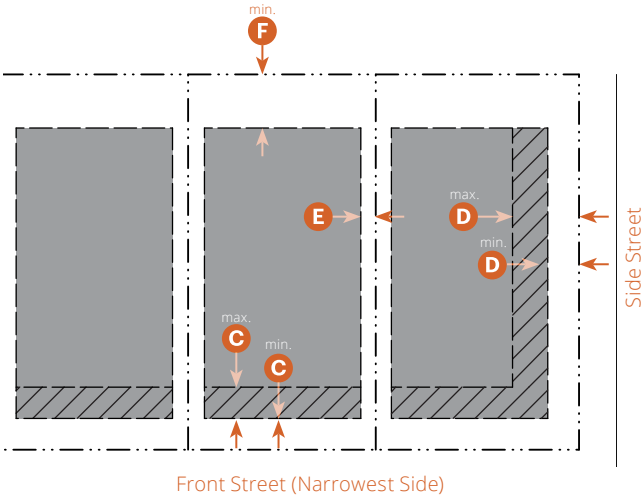
Key

--- ROW/ Design Site Line

2. Building Types and Design Site Size				
Allowed Building Types	Design Site ¹		Standards	
	Width A	Depth B		
Duplex Side-by-Side	46' min.	85' min.	4.030	
Duplex Stacked	44' min.	95' min.	4.040	
Cottage Housing	100' min.	120' min.	4.050	
Triplex/Fourplex	46' min.	97' min.	4.060	
Side Court ²	65' min.; 100' max.	150' min.	4.070	
Townhouse	20' min. ³	85' min.	4.080	
Each design site shall have only one primary building type except cottage housing.				
¹ As required by Table 2.020.A, design sites are required to include shared yard space and new thoroughfare(s) per Chapter #C (Large Site Standards).				
² Side Court building type is not allowed on corner design sites or in developments subject to Chapter #C Large Site Standards.				
³ Represents one townhouse; townhouses may be divided vertically into flats.				
Design Site Coverage				
Coverage (max.)	Maximum footprint allowed for selected Type(s).			

Predictability. Building Type standards increase predictability about form and ensure that each allowed Type will fit well on the minimum size of land required (Design Site).

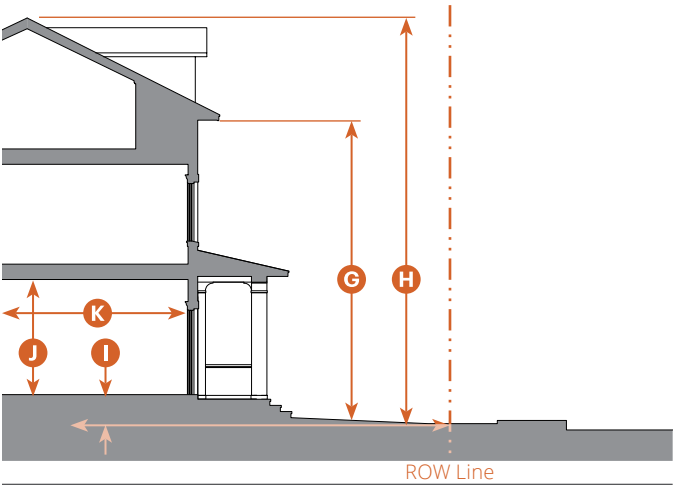
Townhouses. The total width of each building as well as the number of side-by-side units is controlled to fit this type into neighborhoods where building size is important.



Key

--- ROW/ Design Site Line
--- Building Setback Line
■ Building Placement Area
▨ Façade Zone

3. Building Placement		
Setback (Distance from ROW/ Design Site Line) ⁴		
Front (Façade Zone)	15' min.; 25' max.	C
Side Street (Façade Zone)	5' min.; 15' max.	D
Side	5' min.	E
Rear	10' min.	F
Building Façade		
Façade Zone	Front St.	Side St.
Total length of façade defined by building and frontage type required within or abutting the façade zone	60% min.	50% min.
⁴ Design sites with slopes ≥ 10% shall comply with Section 3.040 (Slope Standards).		
4. Frontage		
A private frontage type is required at building and/or unit entries along a thoroughfare or publicly accessible space.		
Allowed Frontage Types	Standards	
Porch Projecting	#A2.040	
Porch Engaged	#A2.050	
Dooryard	#A2.060	
Stoop	#A2.070	



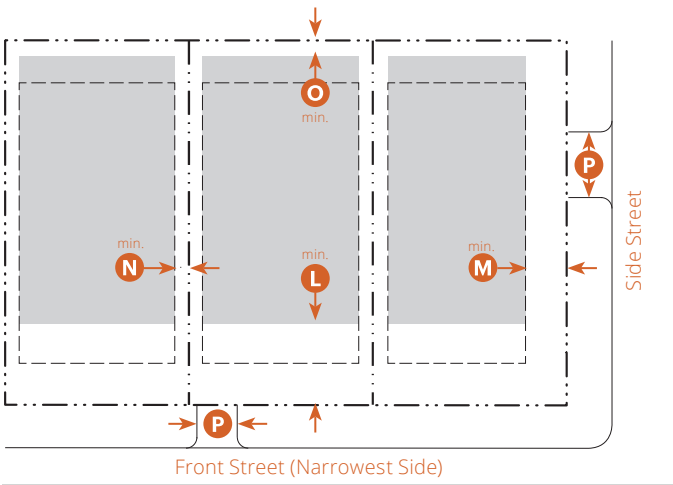
Key
--- ROW Line

5. Building Form		
Height		
Primary Building ⁵		
Stories	2.5 max.	
To Highest Eave/Parapet	22' max.	G
Overall	35' max.	H
Ground Floor Finish Level	6" min. ⁶	I
Ground Floor Ceiling	9' min.	J
Footprint		
See Chapter 4 (Building Types)		
Depth, Ground-Floor Space		K
Cottage Housing	20' min.	
All Other Building Types	30' min.	

Where provided, dormer windows shall be in compliance with Figure 2.020.1 (Half Story Standards).

⁵ See Chapter 4 (Building Types) for refinements to massing and height standards.

⁶ Shared entries may be set at grade in compliance with local and federal accessibility standards.



Key
--- ROW/ Design Site Line ■ Parking Area
--- Building Setback Line

6. Parking		
Spaces Required (per unit)	Vehicular Spaces ⁷	Bicycle Spaces
Within 1/2 mile of transit stop	None required	1 min.
Not within 1/2 mile of transit stop		
Lot ≤ 6000 sf	1 min.; 1 max	1 min.
Lot > 6000 sf	1 min.; 1.5 max	1 min.
Setback (Distance from ROW/ Design Site Line)		
Front	50' min. ⁸	L
Side Street	20' min.	M
Side	5' min.	N
Rear	5' min.	O
Driveway	One-Way	Two-Way
Curb Cut/Width	12' max.	Not Allowed P

⁷ See Subsection 3.030 for additional standards.

⁸ 10' min. allowed for parking court of 6 or fewer spaces. See Figure 3.030.1 (Shared Parking Court).

Building Height.
There is a considerable difference between a 35' tall building with a flat roof and one with a pitched roof. Consider setting a lower height for roof eaves where existing buildings are up to 2 stories.

Parking setbacks.
The intent of these standards is to locate vehicle parking to the rear portion of each lot to present pedestrian-orientated buildings and streetscapes instead of parking lots.

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2.050

Neighborhood Residential Overlay,Medium 1 (NRO.M1)

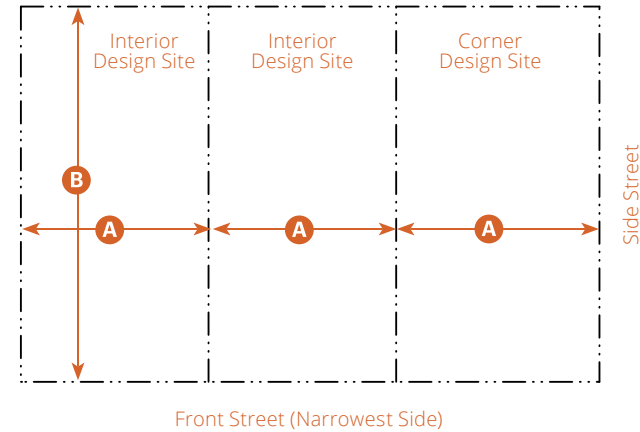


City to decide if
Overlay zone name
to be revised or
replaced.

General note: the illustrations above are intended to provide a brief overview of the zone and are descriptive in nature.

1. Intent	
A neighborhood environment of small-to-medium footprint, low-to-moderate-intensity housing choices.	
The following are generally appropriate form elements in the zone.	
House-Scale Buildings: Side Courts,	Small-to-Medium Front Setbacks
Townhouses, Courtyards, Multiplexes,	Small Side Setbacks
and multiple buildings on one lot	Up to 2.5 Stories
Medium Building Footprints	Porch Projecting, Porch Engaged, Dooryard, Stoop, and Common Entry Frontage Types

Façade Zone. This approach provides a minimum and maximum building setback to allow for creativity in building façade design while positively shaping the streetscape.



Key

--- ROW/ Design Site Line

2. Building Types and Design Site Size

Allowed Building Types	Design Site ¹		Standards
	Width A	Depth B	
Side Court ²	65' min.; 100' max.	150' min.	4.070
Townhouse	16' min. ³	60' min.	4.080
Courtyard	77' min. ⁴	97' min.	4.090
Multiplex	108' min.	120' min.	4.100

Each design site shall have only one primary building type.

¹As required by Table 2.020.A, design sites are required to include shared yard space and new thoroughfare(s) per Chapter #C (Large Site Standards).

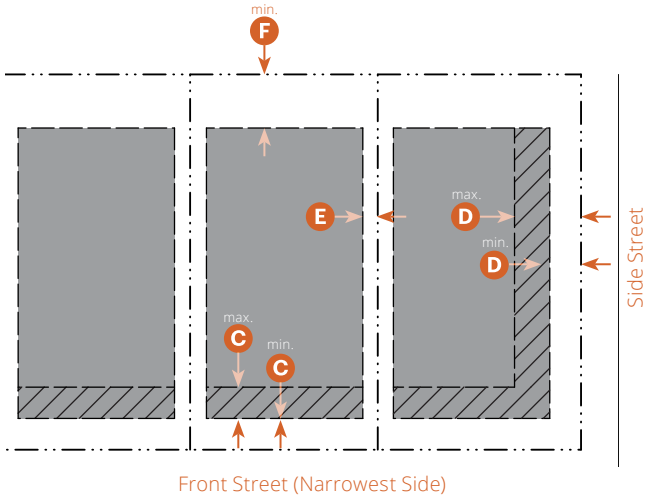
²Side Court building type is not allowed on corner design sites or in developments subject to Chapter #C Large Site Standards.

³Represents one townhouse; townhouses may be divided vertically into flats.

⁴For an L-shaped building; 100' min. for a U-shaped building

Design Site Coverage

Coverage (max.)	Maximum footprint allowed for selected Type(s).
-----------------	---



Key

--- ROW/ Design Site Line

--- Building Setback Line

■ Building Placement Area

▨ Façade Zone

3. Building Placement

Setback (Distance from ROW/ Design Site Line)⁵

Front (Façade Zone)	10' min.; 15' max.	C
Side Street (Façade Zone)	5' min.; 15' max.	D
Side	5' min.	E
Rear	10' min.	F

Building Façade

Façade Zone	Front St.	Side St.
Total length of façade defined by building and frontage type required within or abutting the façade zone	65% min.	55% min.

⁵Design sites with slopes $\geq 10\%$ shall comply with Section 3.040 (Slope Standards).

4. Frontage

A private frontage type is required at building and/or unit entries along a thoroughfare or publicly accessible space.

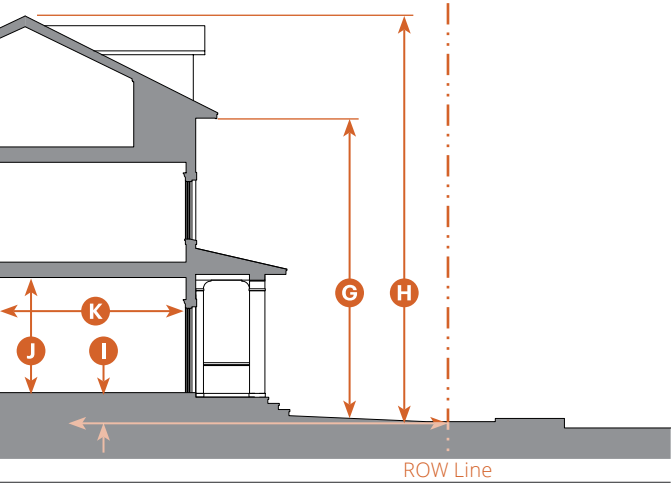
Allowed Frontage Types	Standards
Porch Projecting	#A2.040
Porch Engaged	#A2.050
Dooryard	#A2.060
Stoop	#A2.070
Common Entry	#A2.080

Predictability.

Building Type standards increase predictability about form and ensure that each allowed Type will fit well on the minimum size of land required (Design Site).

Townhouses.

The total width of each building as well as the number of side-by-side units is controlled to fit this type into neighborhoods where building size is important.



Key
--- ROW Line

5. Building Form

Height

Primary Building⁶

Stories	2.5 max.	
To Highest Eave/Parapet	24' max.	G
Overall	35' max.	H
Ground Floor Finish Level	6" min. ⁷	I
Ground Floor Ceiling	9' min.	J

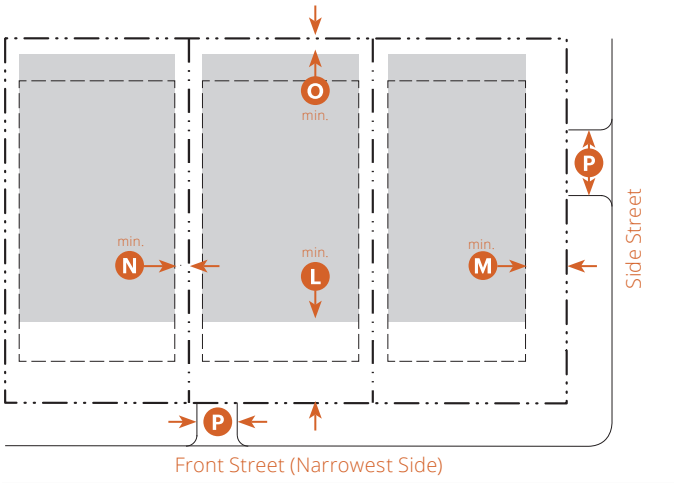
Footprint

See Chapter 4 (Building Types)		
Depth, Ground-Floor Space	20' min.	K

Where provided, dormer windows shall be in compliance with Figure 2.020.1 (Half Story Standards).

⁶See Chapter 4 (Building Types) for refinements to massing and height standards.

⁷Shared entries may be set at grade in compliance with local and federal accessibility standards.



Key
--- ROW/ Design Site Line
--- Building Setback Line
■ Parking Area

6. Parking

Spaces Required (per unit)	Vehicular Spaces ⁸	Bicycle Spaces
Within 1/2 mile of transit stop	None required	2 min.
Not within 1/2 mile of transit stop		
Lot ≤ 6000 sf	0.5 min.; 0.75 max	1 min.
Lot > 6000 sf	1 min.; 1.5 max	1 min.

Setback (Distance from ROW/ Design Site Line)

Front	40' min. ⁹	L
Side Street	20' min.	M
Side	5' min.	N
Rear	5' min.	O

Driveway	One-Way	Two-Way
Curb Cut/Width	12' max.	Not Allowed

⁸See Subsection 3.030 for additional standards.

⁹10' min. allowed for parking court of 6 or fewer spaces. See Figure 3.030.1 (Shared Parking Court).

Building Height.

There is a considerable difference between a 35' tall building with a flat roof and one with a pitched roof. Consider setting a lower height for roof eaves where existing buildings are up to 2 stories.

Parking setbacks.

The intent of these standards is to locate vehicle parking to the rear portion of each lot to present pedestrian-orientated buildings and streetscapes instead of parking lots.

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2.060

Neighborhood Residential Overlay, Medium 2 (NRO.M2)

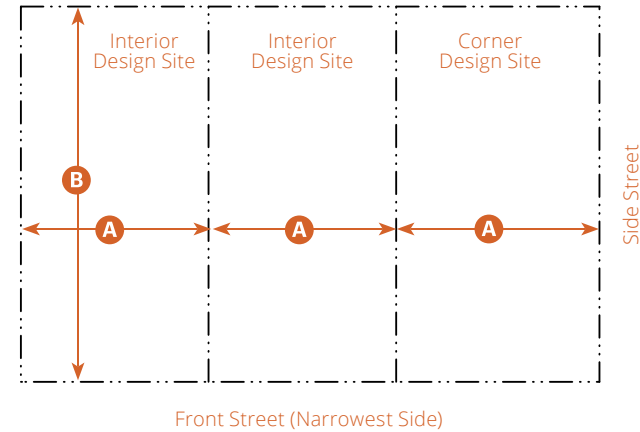


City to decide if
Overlay zone name
to be revised or
replaced.

General note: the illustrations above are intended to provide a brief overview of the zone and are descriptive in nature.

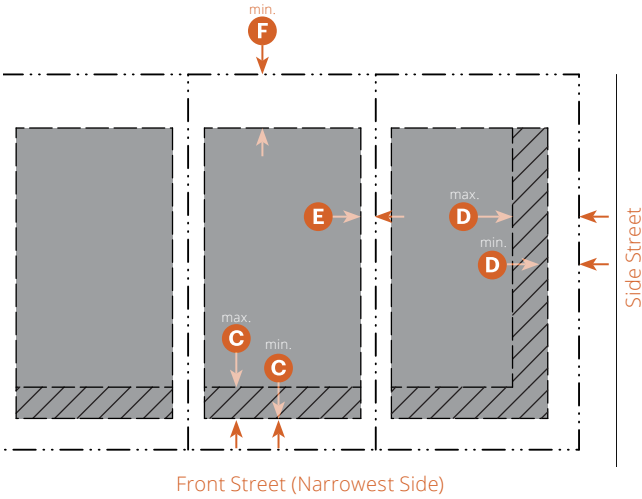
1. Intent	
A neighborhood environment of small-to-medium footprint, low-to-moderate-intensity housing choices.	
The following are generally appropriate form elements in the zone.	
Primarily House-Scale Buildings:	Small Side Setbacks
Townhouses, Courtyards, Multiplexes, and multiple buildings on one lot	Up to 3 Stories
Medium Building Footprints	Porch Projecting, Porch Engaged, Dooryard, and Stoop, and Common Entry Frontage Types
Small Front Setbacks	

Façade Zone. This approach provides a minimum and maximum building setback to allow for creativity in building façade design while positively shaping the streetscape.



Key
--- ROW/ Design Site Line

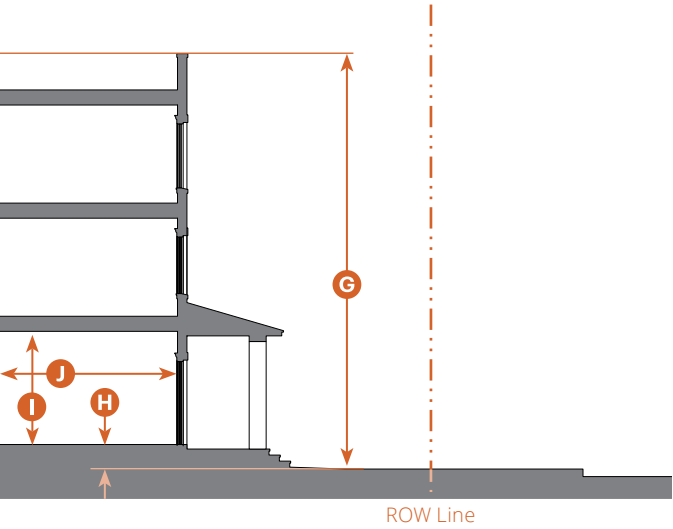
2. Building Types and Design Site Size			
Allowed Building Types	Design Site ¹		Standards
	Width A	Depth B	
Townhouse	16' min. ²	60' min.	4.080
Courtyard	77' min. ³	97' min.	4.090
Multiplex	108' min.	120' min.	4.100
Each design site shall have only one primary building type.			
¹ As required by Table 2.020.A, design sites are required to include shared yard space and new thoroughfare(s) per Chapter #C (Large Site Standards).			
² Represents one townhouse; townhouses may be divided vertically into flats.			
³ For an L-shaped building; 100' min. for a U-shaped building			
Design Site Coverage			
Coverage (max.)	Maximum footprint allowed for selected Type(s).		



Key
--- ROW/ Design Site Line
--- Building Setback Line
■ Building Placement Area
▨ Façade Zone

3. Building Placement		
Setback (Distance from ROW/ Design Site Line) ⁴		
Front (Façade Zone)	10' min.; 15' max.	C
Side Street (Façade Zone)	5' min.; 15' max.	D
Side	5' min.	E
Rear	10' min.	F
Building Façade		
Façade Zone	Front St.	Side St.
Total length of façade defined by building and frontage type required within or abutting the façade zone	70% min.	60% min.
⁴ Design sites with slopes ≥ 10% shall comply with Section 3.040 (Slope Standards).		
4. Frontage		
A private frontage type is required at building and/or unit entries along a thoroughfare or publicly accessible space.		
Allowed Frontage Types	Standards	
Porch Projecting	#A2.040	
Porch Engaged	#A2.050	
Dooryard	#A2.060	
Stoop	#A2.070	
Common Entry	#A2.080	

Predictability. Building Type standards increase predictability about form and ensure that each allowed Type will fit well on the minimum size of land required (Design Site).



Key

--- ROW Line

5. Building Form

Height

Primary Building⁵

Stories	3 max.	
Overall/Top of Parapet	35' max.	G
Ground Floor Finish Level	6" min. ⁶	H
Ground Floor Ceiling	9' min.	I

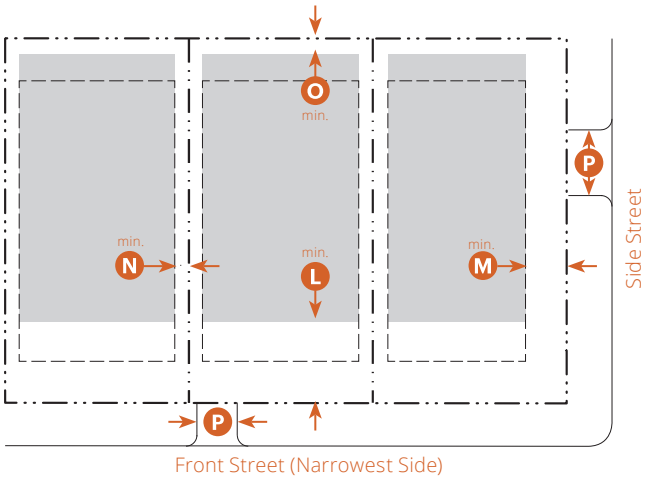
Footprint

See Chapter 4 (Building Types)	
Depth, Ground-Floor Space	20' min. J

Where provided, dormer windows shall be in compliance with Figure 2.020.1 (Half Story Standards).

⁵See Chapter 4 (Building Types) for refinements to massing and height standards.

⁶Shared entries may be set at grade in compliance with local and federal accessibility standards.



Key

--- ROW/ Design Site Line

■ Parking Area

--- Building Setback Line

6. Parking

Spaces Required (per unit)	Vehicular Spaces ⁷	Bicycle Spaces
Within 1/2 mile of transit stop	None required	2 min.
Not within 1/2 mile of transit stop		
Lot ≤ 6000 sf	0.5 min.; 0.75 max	1 min.
Lot > 6000 sf	1 min.; 1.5 max	1 min.

Setback (Distance from ROW/ Design Site Line)

Front	40' min. ⁸	K
Side Street	15' min.	L
Side	5' min.	M
Rear	5' min.	N

Driveway	One-Way	Two-Way
Curb Cut/Width	12' max.	Not Allowed O

⁷See Subsection 3.030 for additional standards.

⁸ 10' min. allowed for parking court of 6 or fewer spaces. See Figure 3.030.1 (Shared Parking Court).

Building Height.

There is a considerable difference between a 35' tall building with a flat roof and one with a pitched roof. Consider setting a lower height for roof eaves where existing buildings are up to 2 stories.

Parking setbacks.

The intent of these standards is to locate vehicle parking to the rear portion of each lot to present pedestrian-oriented buildings and streetscapes instead of parking lots.

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Chapter 3: Site Development Standards

Sections:

3.010	Purpose
3.020	Landscaping and Lighting
3.030	Parking and Loading
3.040	Slope Standards

3.010 Purpose

This Chapter provides standards to ensure that new development accomplishes the following:

- 1. Makes a positive contribution to the development pattern of the area;
- 2. New or altered structures are compatible with the design and use of existing structures on neighboring properties; and
- 3. Does not adversely affect neighboring properties, with "adversely affect" meaning to impact in a substantial, negative manner the habitability of these properties.

3.020 Landscaping and Lighting

- 1. **Intent.** This Section prescribes landscaping and lighting standards for protection and enhancement of the environmental and visual quality of the community, enhancement of privacy, and the control of dust.
- 2. **Required Landscaping.** The landscaping required by this Section shall be installed as part of the development or improvement(s) requiring the landscaping. Standards for landscaping in parking areas shall be in combination with Section 3.030 (Parking and Loading).
 - A. Landscaping materials shall be integrated into the required setbacks, stream and wetland buffers, and design of the selected private frontage type(s).
 - B. Landscape materials shall be applied to the planting areas identified for public frontage type(s).
- 3. **Required Lighting**
 - A. Lighting shall be provided in compliance with the following:
 - (1) All exterior lighting shall be designed, located, and lamped in order to prevent overlighting and light trespass.
 - (2) All parking lot lights shall be full cutoff luminaires, as certified by the manufacturer, with the light source directed downward and away from adjacent residences.

- (3) Bollard lighting may be used to light walkways and other landscape features, but shall cast its light downward.
- (4) Internally illuminated fascia, wall, roof, awning or other building parts are prohibited.

4. Design Standards

A. Allowed Landscaping Materials

- (1) Landscaping materials shall comply with the following:
 - (a) Shrubs, of at least one-gallon size;
 - (b) Ground cover instead of grass/turf; and/or
 - (c) Decorative nonliving landscaping materials including, but not limited to, sand, stone, gravel, wood or water may be used to satisfy a maximum of 25 percent of the required landscaping area.
- (2) Street trees, of at least 15-gallon size, double-staked, planted between the curb and the back of the sidewalk.

B. Species Selection

- (1) Native and drought tolerant species are required to meet the minimum local standards.
- (2) Landscaping shall be in compliance with [Section x.xx.xxx \(City's Fire Department Standards\)](#).

C. Existing Vegetation. On-site trees of species [xxx](#) and/or a caliper size of at least [xxx](#) inches shall be incorporated into the landscaping.

D. Retaining Walls

- (1) **Along front and/or side street.** Retaining walls within the front and/or side street façade zone(s) or visible from the public sidewalk adjoining the design site shall:
 - (a) Not exceed four feet in height as measured to the adjacent finished grade or sidewalk whichever is nearest; and/or
 - (b) Include a landscape planter in front of the wall. The planter shall be at least 18 inches deep measured perpendicular to the wall.
- (2) **Along interior side.** Retaining walls along the interior design site line that are beyond the front and/or side street façade zone(s) shall:
 - (a) Not exceed three feet as measured to the adjacent finished grade; and/or
 - (b) Include a landscape planter in front of the wall. The planter shall be at least three feet deep measured perpendicular to the wall.
- (3) **Along rear.** Retaining walls along the rear design site line that are beyond the front and/or side street façade zone(s) shall:
 - (a) Not exceed eight feet as measured to the adjacent finished grade; and/or
 - (b) If exposed, include a landscape planter in front of the wall. The planter shall be at least three feet deep measured perpendicular to the wall; and/or
 - (c) Not require landscaping or wall material finish(es) if within the building and not exposed.

- E. **Maintenance.** Required landscaping shall be maintained in a clean and healthy condition. This includes pruning, weeding, removal of litter, fertilizing, replacement of plants when necessary, and the appropriate watering of all landscaping.

3.030 Parking and Loading

1. **Intent.** This Section prescribes standards for motor vehicle and bicycle parking areas, loading and access drives, and standards for reducing motor vehicle trips per capita to and from development. These standards are intended to ensure that new development accomplishes the following:
 - A. Consistency with the intended physical character of walkable environments;
 - B. Provision of bicycle parking to increase bicycle trips and reduce motor vehicle trips per capita; and
 - C. Appropriately limits, screens, and landscapes motor vehicle parking areas to protect and enhance the environmental and visual quality of the community, enhance privacy, attenuate noise, and control dust.
2. **On-site parking.** On-site parking is allowed in all zones subject to the standards in this Section.
3. **Bicycle Parking Standards.** Bicycle parking shall be provided in compliance with the standards of the zone.
4. **Number of Motor Vehicle Parking Spaces Required**
 - A. **Required Spaces.** The minimum number of parking spaces required is listed in Subsection 6 of the zone. For any use not addressed in Subsection 6, parking shall not exceed a ratio equivalent to the average peak parking occupancy rate for the most comparable use in the Institute of Transportation Engineers Parking Generation Manual.
 - B. **Required Number of Parking Spaces**
 - (1) When calculating the required number of parking spaces, numbers shall be rounded down to the closest whole number.
 - (2) For parking systems that stack individual vehicles, each vehicle accommodated by the stacker counts as an individual parking space.
5. **Parking Spaces, Design and Layout**
 - A. **Parking Facilities.** If off-street parking is located within a carport or garage, The garage shall match the color, material and roofing of the primary building.
 - B. **Parking Space dimension.** The minimum dimension for residential parking spaces are eight and a half feet wide and Eighteen feet deep.
 - C. **Access.** On-site parking areas shall be accessed per the following:
 - (1) On-site parking shall be designed with an appropriate means of vehicular access to a street or to an alley to cause the least interference with traffic flow.
 - (2) Ingress to and egress from parking spaces shall be from an on-site aisle or driveway, directly from the front, side street, public alley, or rear lane.
 - (3) On-site loading space(s) is not required.

D. Driveways

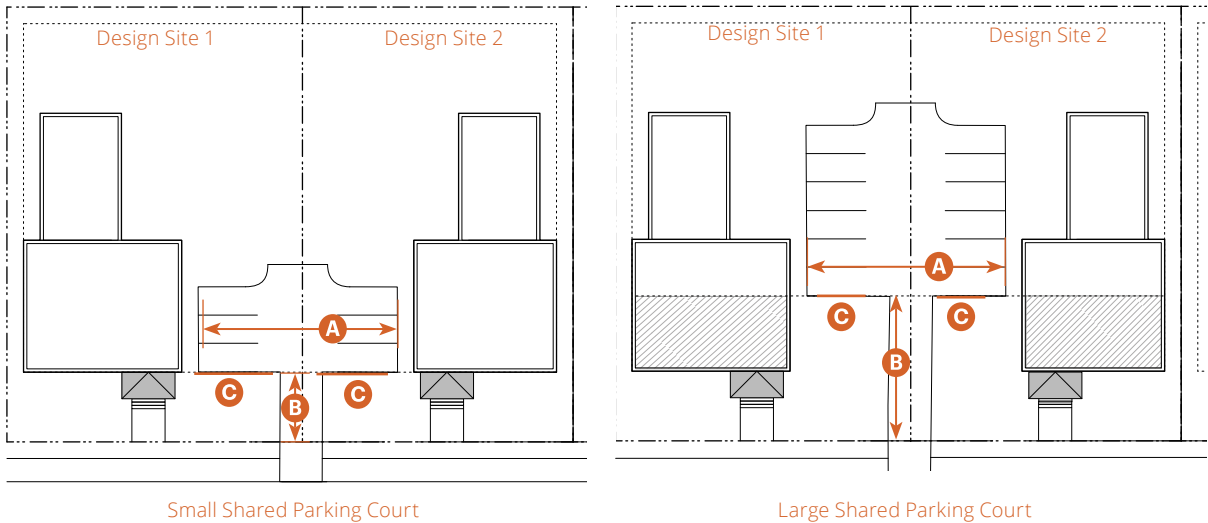
- (1) Access to Driveways
 - (a) Driveway access to and from developments of two or fewer dwelling units onto public streets shall be where practical by forward or reverse motion of the vehicle; and
 - (b) Driveway access to and from developments of three or more dwelling units onto public streets shall be by forward motion of the vehicle; and
 - (c) Minimum 30 feet separation between driveways for all uses except developments of two or fewer dwelling units.
- (2) Number of Driveways. Table A (Number of Driveways) specifies the maximum number of driveways for a development site
- (3) Driveways shall be setback from design site lines as follows:
 - (a) For front access, minimum two feet from side design site lines; and/or
 - (b) For side street access, no less than the minimum rear parking setback per the zone; and/or
 - (c) Where driveway access is shared by abutting design sites, Subsections (a) and (b) above do not apply; minimum two feet from building(s).
- (4) Driveways shall extend to and include the area between the design site line and the edge of the street pavement.
- (5) The design and construction of all on-site parking access drives shall be in compliance with [Section x.xx.xxx \(City's Driveway Access Standards\)](#).

Table 3.030.A: Number of Driveways	
Lot Frontage (Corner Parcel Applies Same Requirements as Side Street)	Maximum Number of Driveways
Up to 150'	1
150' to 299'	2
Each additional 300' over 299'	1

- E. **Parking Techniques.** The following techniques may be applied individually or in combination:
- (1) Tandem Parking. Parking spaces are arranged in a series up to total. Tandem parking is allowed in all overlay zones, subject to on-site management.
 - (2) Parking Court. Parking spaces in groupings of uncovered spaces or if behind the minimum building setbacks, covered spaces or individual garages not in a podium configuration. The parking court may be shared between two design sites. See Figure 3.030.1 (Shared Parking Court).
 - (3) Podium Parking. Parking spaces are located in an at-grade garage under the rear and/or interior side of the building or under all of the building except for the required ground floor habitable space. The garage has occupiable space above the garage level. The podium is not visible or exposed along the front or side street building façades.

- (4) Subterranean Parking. Parking spaces are located below the adjacent finished grade of the building.
- (5) Stacked Parking System. Parking spaces are arranged in a system that provides two to three spaces in the horizontal area of one space. This type of system is within a podium parking garage or not within the building footprint, open or covered.

Figure 3.030.1: Shared Parking Court



Key		
---	Design Site Line	
----	Setback Lines	
A	Minimum Width of the Shared Parking Court, measured parallel to the adjacent street/right-of-way	
B	Minimum Setback:	Small Parking Court (6 or fewer spaces) 10' min.
		Large Shared Parking Court (7-12 spaces) Setback behind line of required ground floor occupiable space required in Subsection D of the zone
C	Front Setback. A landscaped buffer in compliance with one of the following methods shall be provided along the length of the parking spaces.	a. A landscaped buffer with a minimum inside width of five feet and a fence or hedge 42 inches in height, or b. A landscaped buffer with a minimum inside width of eight feet.

- F. **Identification as to Purpose and Location.** On-site parking areas of four or more spaces shall include painted lines, wheel stops, or other methods of identifying individual parking spaces and loading areas, while distinguishing such spaces from aisle and other circulation features.
- G. **Materials**
 - (1) All on-site parking areas and driveways shall be surfaced only with materials identified by [City](#).
 - (2) Parking area surfacing materials shall consist of the following materials:
 - (a) Gravel, crushed granite, “grasscrete”; or
 - (b) Recycled materials including, but not limited to, glass, rubber, used asphalt, brick, block and concrete; or
 - (c) A combination of the above materials.
- H. **Landscaping.** The landscaping standards identified in Table B (Required Parking Lot Landscaping) shall be applied with the standards of Subsection 3.020 (Landscaping and Lighting).
 - (1) Parking and loading areas shall be screened from adjacent residential zones by a six foot wall, fence, or evergreen.
 - (2) Screening is not required when parking area(s) is adjacent to an alley.
 - (3) Landscaping areas shall integrate stormwater management features per [City's Landscaping Standards](#).
 - (4) For portions of parking areas covered by photo-voltaic solar collectors that also function as shade structures, the minimum standard for trees does not apply.
- I. **Location**
 - (1) Location of on-site parking is regulated by the required setbacks in Subsection 6 of the zone and the following:
 - (a) Parking lots with more than 11 spaces shall be separated at least by five feet from buildings to make room for a sidewalk, landscaping, and/or other planting between the building and the parking area.
 - (b) The required separation may be eliminated to the rear of buildings in areas designed for unloading and loading of materials.

Table 3.030.B: Required Parking Lot Landscaping	
Number of Parking Spaces	Percent of Gross Parking Area Required to be Landscaped
10 or fewer	None
11 or more	5' min. wide planter along property line
General Landscaping	
Perimeter Planter	5' min. width
Required Border	6" high curb or equivalent
Border and Stormwater	Curb or equivalent shall include breaks every 4" to provide drainage to retention and filtration areas.
Car Overhangs	Shall be prevented by planter curb
Required Quantity	1 tree per every 10 parking spaces, beginning at 11 total spaces
Tree Well Size ¹	5' min. in any direction
Tree Can Size	15 gallon min.
Tree Box Size	20% of required trees shall be 24" min.
Tree Caliper	1" min.
Tree Height at Installation	7' min. vertical clearance
Tree Characteristics	Tree canopy
Location	Evenly spaced throughout parking lot to provide uniform shade
¹ Any vehicle overhang requires the minimum planter area width to be expanded by an equivalent dimension.	

3.040 Slope Standards

- 1. **Intent.** This Section provides the standards for development in all zones on parcels with sloped topography. For the purposes of this Section, sloped topography is any slope of ten percent or more.
- 2. **Buildable Area.** Table A (Maximum Amount of Sloped Areas Allowed to be Developed) identifies the amount of developable area for sloped portions of design sites. This, in combination with the standards in this Section and the maximum allowed building footprint shall be applied to the design of the sloped portions of design sites.
 - A. Developments subject to Chapter #B (Large Site Standards) requiring new streets shall be in compliance with maximum grade standards in [Section x.xx.xxx \(City's Thoroughfare Standards\)](#).

Standards.
City to revise to local needs regarding specific slope thresholds.

Table 3.040.A: Maximum Amount of Sloped Areas Allowed to be Developed				
Portions of Design Site with Existing Slope	Development Site ^{1,2}			
	Previously Developed		Greenfield	
	Up to 1 acre	>1 acre to 2.99 acres	1 to 3 acres	>3 acres
0–9.99%	100% max.	Not to exceed extents of previously developed footprint ³	100% max.	100% max.
10–19.99%	75% max.		50% max.	25% max.
20–29.99%	25% max.		5% max.	0% max.
> 30%	0% max.		0% max.	0% max.

¹ In compliance with the setbacks of the overlay zone, required on-site shared yard space, this Section, and the maximum building footprint standards in Chapter 4 (Building Types).

² In compliance with required amount of shared yard space identified in Subsection 2.020.13.

³ Includes streets and parking areas.

- 3. **Building Height**
 - A. **Maximum Building Height.** Building height is regulated by Subsection 5 of the zone and Subsection 5 of the building type. The maximum allowed height of a building shall follow the existing topography of the design site to ensure that each building is in compliance with the allowed building height.
 - (1) Figure 3.040.1 (Site Grading for Small-to-Medium Detached and Attached Building Forms) in this Section illustrate allowed and non-allowed site grading methods.
 - B. **Exposed Basements.** Basements do not count toward the maximum stories allowed in the zone if exposed less than half of the basement's story height below the average adjacent finished grade.
- 4. **Topography and Required Location of Primary Building.** Sloped topography can present issues with locating the primary building on a design site in compliance with Subsection 3 of the zone. Table #E2.030.A (Adjustments to Standards for Lots Less Than 10% Slope) and Table #E2.030.B (Adjustments to Standards for Lots Over 10% Slope) identify allowed administrative relief for issues arising from sloped topography.
- 5. **Grading or Regrading of Design Sites.** When existing design site topography is proposed to be changed, grading shall not result in any of the following:
 - A. Creation of retaining walls or blank walls taller than four feet within required front or side street façade zones; or
 - B. Retaining walls on side design site lines taller than three feet; or
 - C. Retaining walls on rear design site lines not within the building footprint, taller than 10 feet; or
 - D. Building(s) that do not reflect the existing topography of the design site; or
 - E. Terraced design sites that result in a vertical difference of more than 4 feet between the adjacent right-of-way and the finished grade of the design site; or
 - F. Grading beyond the building pad(s) and the required access drive(s); or
 - G. Cut exceeding 16 feet in height from top to toe; or
 - H. Cut slope exceeding two horizontal to one vertical.

6. Graded Slopes

- A. Graded slopes shall be screened from view under or behind buildings with landscaping or natural topographic features.
- B. Graded slopes shall be revegetated with a mixture of grass seed or shrubs as identified by the USDA Soil Conservation Service.

7. Drainage Facilities. All proposed drainage facilities shall preserve major drainage channels in their natural state and be designed in such a manner as to minimize soil erosion and to otherwise preserve the public health, safety, and welfare.

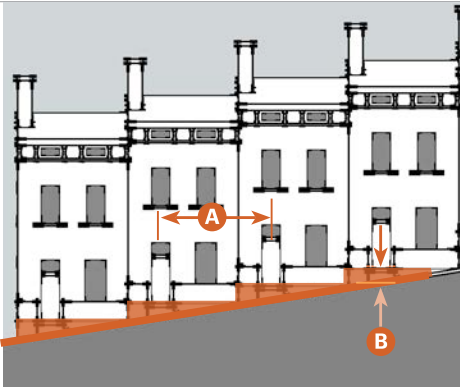
8. Massing. Buildings on sloped design sites shall reflect the existing topography of the design site.

- A. Buildings with footprints 36 feet wide or less shall have a simple water table element or change in material between the basement and the ground floor.
- B. Buildings with footprints wider than 36 feet and 2.5 stories or taller shall have a minimum of one story tall defined base. The base shall be defined through the use one of the following methods:
 - (1) Change in material; and/or
 - (2) A continuous horizontal band between the base and upper floors; and/or.
 - (3) Use of a continuous shopfront frontage.

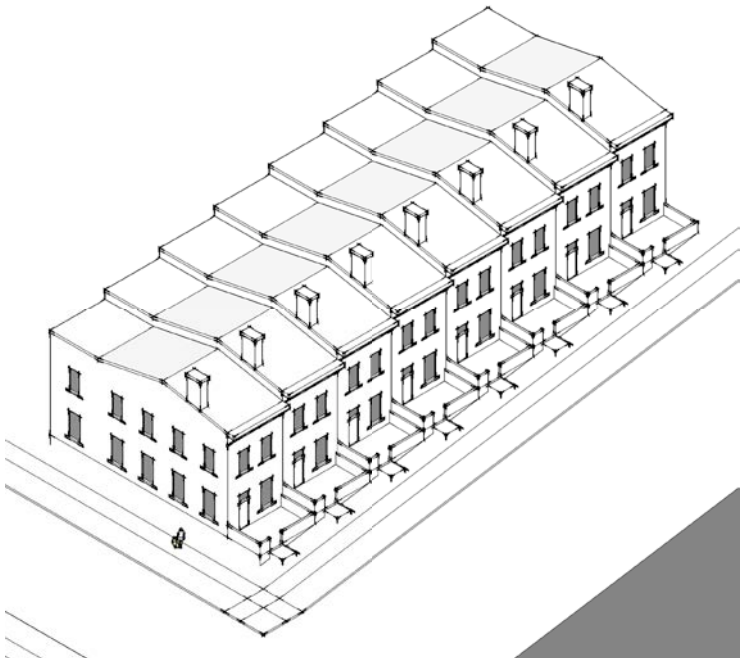
9. Frontage. Along front and side street façades, each primary building shall be designed in compliance with the standards for ground floor private frontage as required by Subsection 4 of the zone.

Figure 3.040.1: Site Grading for Small-to-Medium Detached and Attached Building Forms

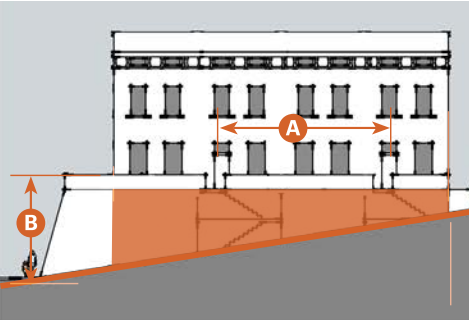
Allowed. Grading that results in each new modified building stepping and reflecting the topography of the parcel or design sites, and that connects each building with the adjacent street and public realm.



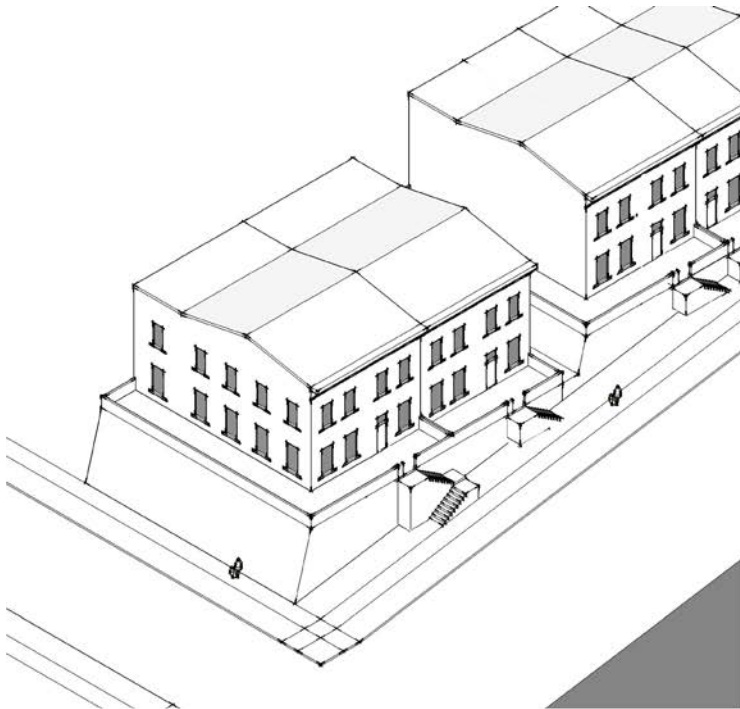
Distance between building entries on slopes greater than 10% does not exceed 50'. **A**
Finished grade of lot is within 4 feet of the adjacent street/right-of-way. **B**



Not Allowed. Grading that results in each new building not stepping with the topography of the lot, and disconnects each building from the adjacent street and public realm.



Distance between building entries on slopes greater than 10% exceeds 50'. **A**
Finished grade of lot is more than 4 feet from the adjacent street/right-of-way. **B**



Chapter 4: Building Types

Sections:

4.010	Purpose
4.020	General Standards
4.030	Overview of Building Types
4.040	Duplex Side-by-Side
4.050	Duplex Stacked
4.060	Cottage Housing
4.070	Triplex/Fourplex
4.080	Side Court
4.090	Townhouse
4.100	Courtyard
4.110	Multiplex
4.120	Massing Types

4.010 Purpose

This Chapter provides the standards for development of individual building types to achieve the intended physical character of each zone, offer housing choices and affordable housing opportunities.

4.020 General Standards

1. Building types are used to articulate size, scale, and intensity according to the intent of each overlay zone.
2. Each design site shall have only one primary building type, except as follows, and in compliance with all standards:
 - A. Cottage Housing (Section 4.060) may consist of up to nine individual buildings; and
 - B. More than one building type is allowed on parcel that meets the requirements of Figure 2.020.2 (Multiple Buildings on One Site), or includes multiple design sites that meet the standards of this Chapter.
3. On-site shared yard space. The standards identify the required amount and/or minimum size.
4. Parking may be designed as uncovered, covered, tuck-under, detached garage(s), podium or subterranean, in compliance with the overlay zone standards for parking placement.
5. Wings are allowed on certain building types to allow for an increase in building area without increasing the size of the main body. Wings are required to be smaller in size and height than the main body and to be at a distance from the main body so that their façades are not aligned.
6. If a building type does not specify standards for wings, wings are not allowed on that building type.
7. The maximum footprint allowed consists of the main body and wings (if allowed), not including frontage types (e.g., porches, etc.).
8. The maximum number of units identified for each building type is dependent on the design site being large enough to accommodate the overlay zone's standards (e.g., parking).

9. New buildings and their improvements are subject to [City's](#) local standards for Fire Safety and Building Safety.
10. In overlay zones NRO.M1 and NRO.M2, buildings are allowed to be connected in compliance with the following:

A. The connection is at least 30 feet behind the building façade nearest to the street;

B. The area of connection is at least 15 feet and up to 30 feet wide; and

C. The building façade nearest to the street is in compliance with the required façade zone; and

D. Upper story connections are at least 10 feet above the finished grade of the building and at least 13 feet, 6 inches above if the area below accommodates vehicle access.

4.030

Overview of Building Types

1. Table A (Building Types Overview) provides an overview of the allowed building types in each overlay zone.

Table 4.030.A: Building Types Overview					
	Specific Standards	Overlay Zones			
		NRO.S1	NRO.S2	NRO.M1	NRO.M2
House Scale					
Duplex Side-by-Side	4.030	P	P	X	X
Duplex Stacked	4.040	P	P	X	X
Cottage Housing	4.050	P	P	X	X
Triplex/Fourplex	4.060	P	P	P	X
Side Court	4.070	X	P	P	P
Townhouse	4.080	X	P	P	P
Courtyard	4.090	X	X	P	P
Multiplex	4.100	X	X	P	P
Key P = Allowed X = Not Allowed					

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4.040 Duplex Side-by-Side



Example of Duplex Side-by-Side



Example of Duplex Side-by-Side



Example of Duplex Side-by-Side

1. Description

A small-to-medium-sized, detached, House-Scale Building with small-to-medium setbacks and a rear setback. The building consists of two side-by-side units within a single Building massing. The type has the appearance of a medium-to-large, single-unit house and is scaled to fit within lower-intensity neighborhoods.

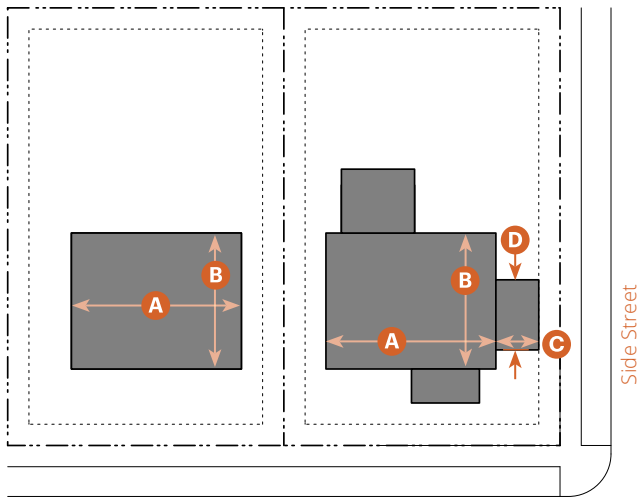
2. Number of Units

Units per Building	2 max.
Buildings per Design Site	1 max.

General Note: Photos on this page are illustrative, not regulatory.

Photos.
City to decide if photo(s) to be replaced with other example(s) of the type.

Alley access required if alley exists



Front Street

Key

- ROW/ Design Site Line
- Building Setback Line
- Building

3. Building Size and Massing

Height

Stories 2.5 max.

Main Body¹

Width 48' max. **A**

Depth 36' max. **B**

Wing(s)^{1,2}

Width 15' max. **C**

Depth 24' max. **D**

Separation between Wings on Same Façade 15' min.

Offset from Main Body 5' min. at façades along front street and side street

Massing Types

Sloped Roof Bar Section 4.120.1.B

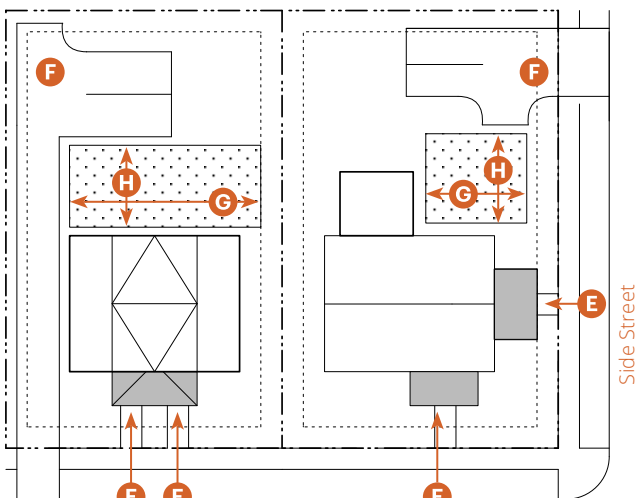
Sloped Roof L Section 4.120.1.C

Sloped Roof Forecourt Section 4.120.1.E

¹ In compliance with Subsection 2 of the overlay zone

² Height is limited to 1 story less than main body and 10' less to highest eave/parapet.

Alley access required if alley exists



Front Street

Key

- ROW/ Design Site Line
- Building Setback Line
- Frontage
- Shared yard

4. Pedestrian Access

Main Entrance Location Front Street³ **E**

Each unit shall have an entry on or within 20' of the front façade.

³ On corner design sites, each unit shall front a different street.

5. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection 6 of the overlay zone. **F**

Parking may be covered, uncovered, or in a garage.

6. Shared Yard

Width 15' min. **G**

Depth 15' min. **H**

Required setbacks and driveways do not count toward shared yard space.

Required private open space shall be located behind the main body of the building.

4.050 Duplex Stacked



Example of Duplex Stacked



Example of Duplex Stacked



Example of Duplex Stacked

1. Description

A small-to-medium-sized, detached, House-Scale Building with small-to-medium setbacks and a rear setback. The building consists of two stacked units within a single building massing. The type has the appearance of a medium-to-large, single-unit house and is scaled to fit within lower-intensity neighborhoods.

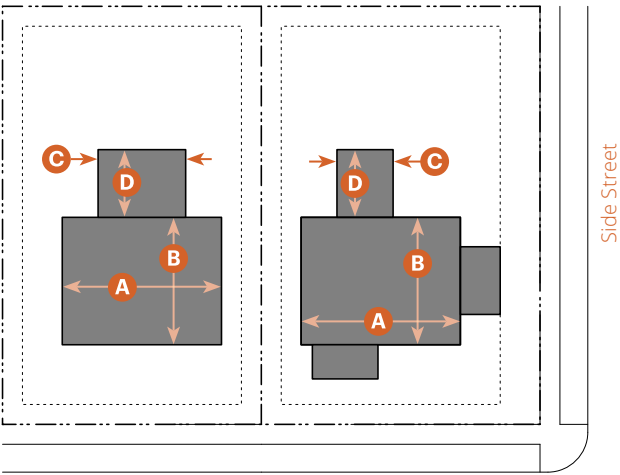
2. Number of Units

Units per Building	2 max.
Buildings per Design Site	1 max.

General Note: Photos on this page are illustrative, not regulatory.

Photos.
City to decide if photo(s) to be replaced with other example(s) of the type.

Alley access required if alley exists



Front Street

Key

- ROW/ Design Site Line
- Building Setback Line
- Building

3. Building Size and Massing

Height

Stories 2.5 max.

Main Body¹

Width 36' max. **A**

Depth 48' max. **B**

Wing(s)^{1,2}

Width 15' max. **C**

Depth 24' max. **D**

Separation between Wings on Same Façade 15' min.

Offset from Main Body

5' min. at façades along front street and side street

Massing Types

Sloped Roof Box Section 4.120.1.A

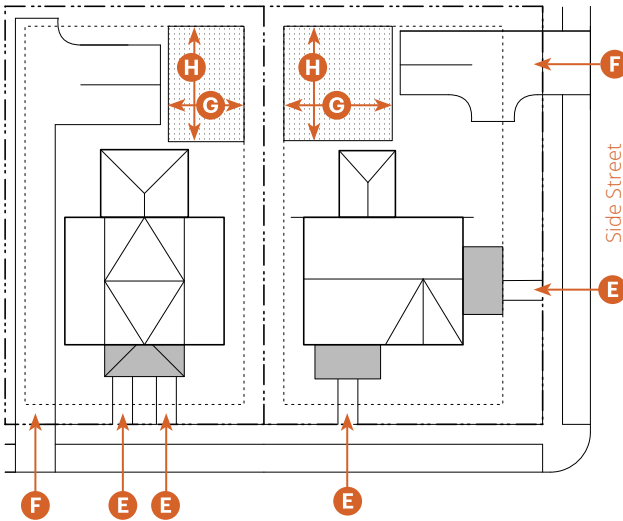
Sloped Roof Bar Section 4.120.1.B

Sloped Roof L Section 4.120.1.C

¹ In compliance with Subsection 2 of the overlay zone

² Height is limited to 1 story less than main body and 10' less to highest eave/parapet.

Alley access required if alley exists



Front Street

Key

- ROW/ Design Site Line
- Building Setback Line
- Frontage
- Shared Yard

4. Pedestrian Access

Main Entrance Location Front Street³ **E**

Each unit shall have an entry on or within 20' of the front façade.

³ On corner design sites, each unit shall front a different street.

5. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection 6 of the overlay zone. **F**

Parking may be covered, uncovered, or in a garage.

6. Shared Yard

Width 15' min. **G**

Depth 15' min. **H**

Required setbacks and driveways do not count toward shared yard space.

Required private open space shall be located behind the main body of the building.

4.060 Cottage Housing



Example of Cottage Housing



Example of Cottage Housing



Example of Cottage Housing

1. Description

A group of up to nine small, detached, House-Scale Buildings arranged to define a shared court open to and visible from the street. The shared court is shared yard space and takes the place of a private rear setback, thus becoming an important community-enhancing element. The type is scaled to fit within low-to-moderate-intensity neighborhoods.

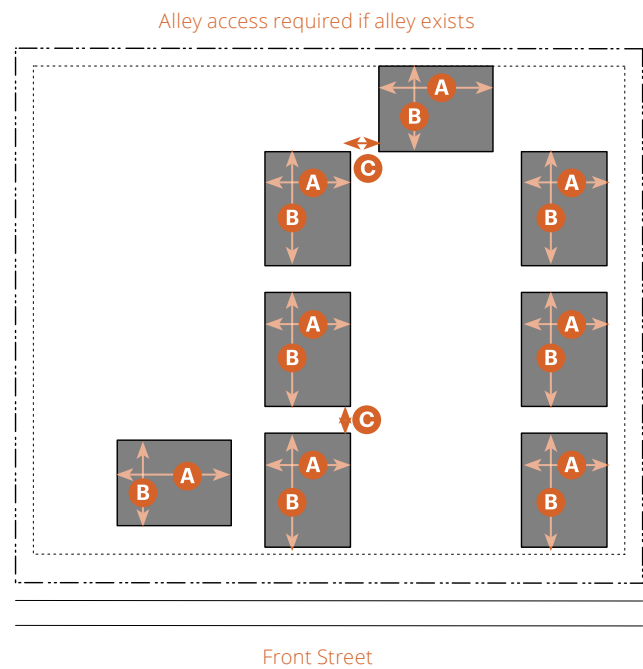
Synonym: Bungalow Court

2. Number of Units

Units per Building	1 max.
Buildings per Design Site	3 min.; 9 max.

General Note: Photos on this page are illustrative, not regulatory.

Photos.
City to decide if photo(s) to be replaced with other example(s) of the type.



Key

- ROW/ Design Site Line
- Building Setback Line
- Building

3. Building Size and Massing

Height

Front Buildings	1.5 stories max.; 14' to highest eave/parapet
Rearmost Building	2.5 stories max.; 22' to highest eave/parapet

Main Body ¹	NRO.S1	NRO.S2
Width	25' max.	32' max. A
Depth	25' max.	32' max. B
Separation between Cottages	7' min. C	

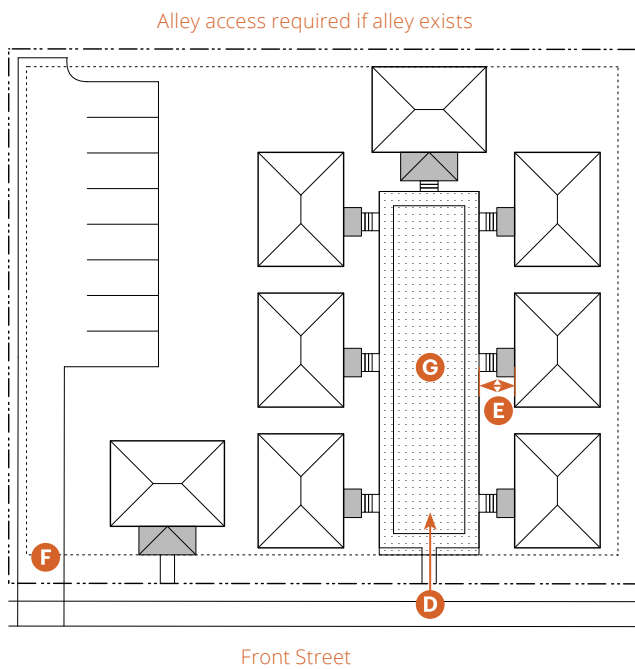
Massing Types

Sloped Roof Box	Section 4.120.1.A
Sloped Roof L	Section 4.120.1.C

4. Pedestrian Access

- Shared court shall be accessible from front street. **D**
- Pedestrian Path Setbacks
 - From Building Entrance 6' min. **E**
- Main entrance to units required from shared court, except that units on a corner may enter from the side street.
- Pedestrian connections shall connect all buildings to the public ROW, shared court, and parking areas.

¹ In compliance with Subsection 2 of the overlay zone



Key

- ROW/ Design Site Line
- Building Setback Line
- Frontage
- Shared Yard

5. Vehicle Access and Parking

- Driveway and parking location shall comply with standards in Subsection 6 of the overlay zone. **F**
- Parking may be covered, uncovered, or in a garage.
- Spaces may be individually accessible by the units and/or common parking area(s) at rear or side of design site.

6. Shared Yard

≤ 5 units	20' x 30' min. G
> 5 units	20% of lot area, no dimension shall be less than 20' G

Required setbacks and driveways do not count as shared yard space.

7. Miscellaneous

Fencing

- Fencing only allowed around or between individual buildings and shall not exceed 36" in height.
- Visibility shall be maintained through the fencing.

4.070 Triplex/Fourplex



Example of Fourplex



Example of Triplex



Example of Fourplex

1. Description

A small-to-medium-sized, detached, House-Scale Building that consists of three to four side-by-side and/or stacked units, typically with one shared entry or individual entries along or within 20' of the front. The type has the appearance of a medium-sized, single-unit house and is scaled to fit within low- to moderate-intensity neighborhoods.

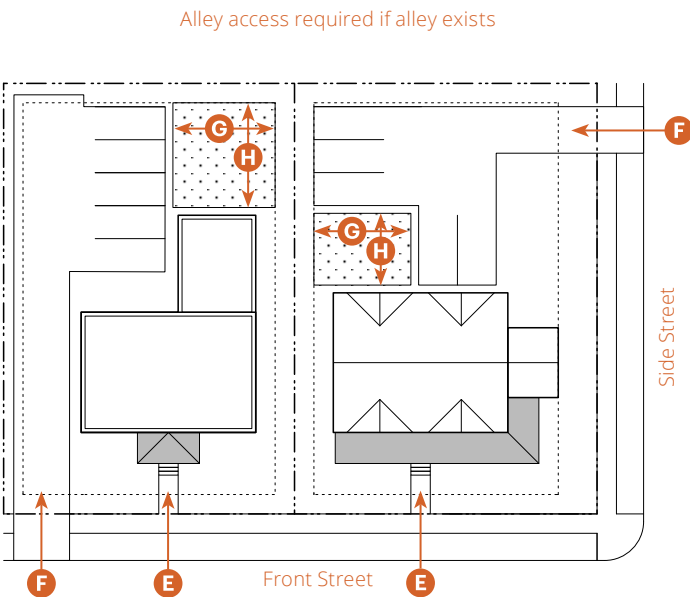
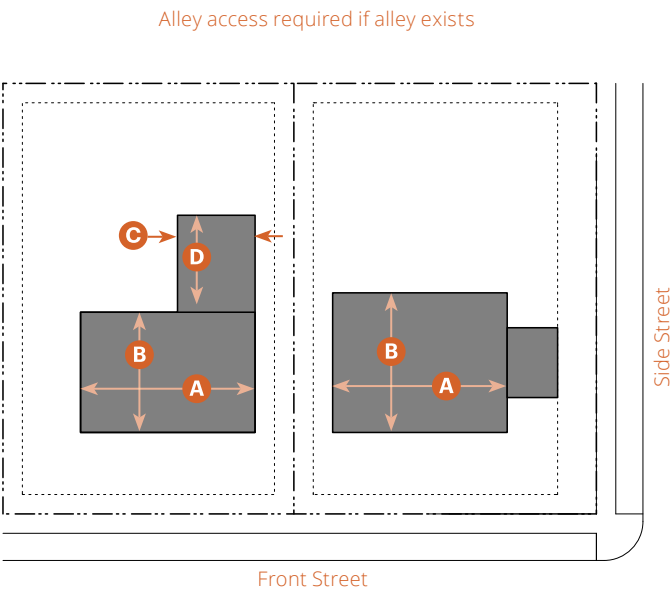
2. Number of Units

Units per Building	3 min.; 4 max.
Buildings per Design Site	1 max.

General Note: Photos on this page are illustrative, not regulatory.

Photos.

City to decide if photo(s) to be replaced with other example(s) of the type.



Key

- ROW/ Design Site Line
- Building
- Building Setback Line

3. Building Size and Massing

Height

Stories 2.5 max.

Main Body¹

Width 48' max. **A**

Depth 48' max. **B**

Wing(s)^{1,2}

Width 15' max. **C**

Depth 20' max. **D**

Separation between Wings on Same Façade 15' min.

Offset from Main Body 5' min. at façades along front street and side street

Massing Types

Sloped Roof Box Section 4.120.1.A

Sloped Roof Bar Section 4.120.1.B

Sloped Roof L Section 4.120.1.C

Sloped Roof Forecourt Section 4.120.1.E

¹ In compliance with Subsection 2 of the overlay zone

² Height is limited to 1 story less than main body and 10' less to highest eave/parapet.

Key

- ROW/ Design Site Line
- Frontage
- Building Setback Line
- Shared Yard

4. Pedestrian Access

Main Entrance Location Front Street **E**

Each unit may have an individual entry.

5. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection 6 of the overlay zone. **F**

Parking may be covered, uncovered, or in a garage.

6. Shared Yard³

Width 15' min. **G**

Depth 15' min. **H**

Required setbacks and driveways do not count towards shared yard space.

Required shared yard space shall be located behind the main body of the building.

Required shared yard space shall be located behind the main body of the building.

Required shared yard space shall be located behind the main body of the building.

Required shared yard space shall be located behind the main body of the building.

³ None required if the building is within 800' of public open space

4.080 Side Court



Side Court, Example 1 (image source: Google)



Side Court, Example 2 (Image source: Google)



Side Court, Example 3 (image source: Realtor.com)

1. Description

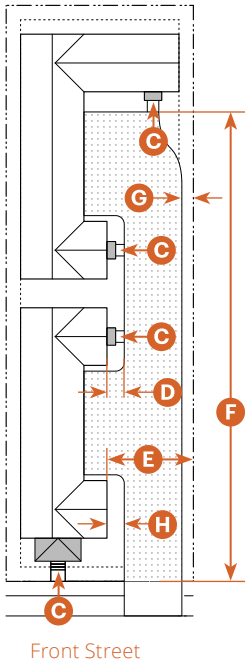
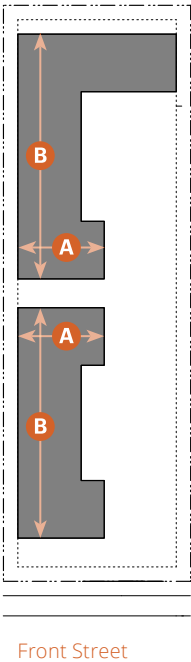
A series of house-scale buildings fronting a shared "parking court" that doubles as a driveway and outdoor space for the units. The foremost building faces the street and the shared court; the rearmost building is parallel with the rear parcel line. This type is intended for narrow and deep mid-block parcels and is typically located within low-to-moderate-intensity neighborhoods.

2. Number of Units

Units per Design Site	10 max.
Buildings per Design Site	2 max.

General Note: Photos on this page are illustrative, not regulatory.

Photos.
City to decide if photo(s) to be replaced with other example(s) of the type.



Key

- ROW/ Design Site Line
- Building
- Building Setback Line

3. Building Size and Massing

Height

Stories 2.5 max.

Main Body (per Building) ¹	NRO.S2	NRO.M1
Width	48' max. ²	48' max. ² A
Overall Length	60' max.	85' max. B

Massing Types (per Building)

Sloped Roof Box	Section 4.120.1A
Sloped Roof L	Section 4.120.1C
Sloped Roof Forecourt	Section 4.120.1E
Sloped Roof L Courtyard	Section 4.120.1F

At least 50% of ground floor space shall be habitable.
Habitable space shall not include garage or parking.

4. Pedestrian Access

- The frontmost unit shall be accessed from the street; **C**
other units shall be accessed from the parking court.
- Each primary entrance shall include a frontage type, as **D**
allowed in Table 6.030.A, within an area at least 7' deep.

¹ In compliance with Subsection 2 of the overlay zone

² No max. within 50' of rear design site line

Key

- ROW/ Design Site Line
- Frontage
- Building Setback Line
- Parking Court

5. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection 6 of the overlay zone.

Parking Court

Width	26' min. (building façade to property line) E
Depth	Up to rearmost building, in compliance F with fire access requirements.

6. Shared Yard

Landscaping

- The area between the parking court pavement and the **G**
property line shall be landscaped, averaging at least 4
feet in width along the length of the parking court.
- The area between all habitable space and the parking **H**
court pavement shall be landscaped, averaging at least 2
feet in width along each façade.

Paving

Parking court surface may be stamped concrete, pavers,
brick, and/or grasscrete. No more than 20% of the surface
area may be asphalt or untextured poured concrete.
The edges of the parking court pavement shall not be
composed exclusively of straight lines.

4.090 Townhouse



Example of 2.5-Story Townhouse



Example of 2.5-Story Townhouse



Example of 3-Story Townhouse

1. Description

A small-sized, typically attached, House-Scale Building (up to four units side-by-side) with a rear setback. Each Townhouse consists of up to two flats. As allowed by the overlay zone, the type may also be detached with minimal separations between buildings. The type is typically located within low-to-moderate-intensity neighborhoods.

Synonym: Rowhouse

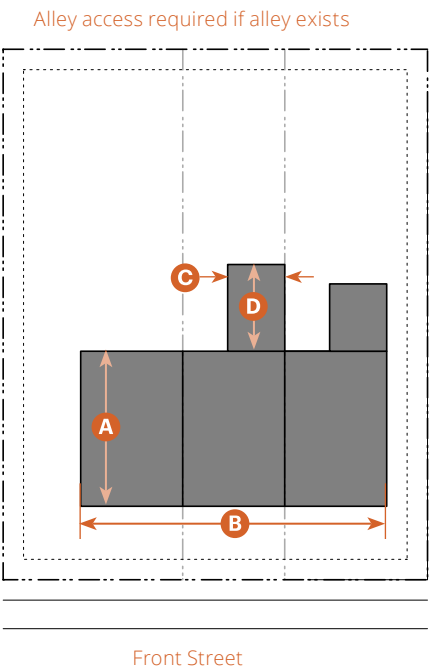
2. Number of Units

	NRO.S.2	NRO.M1	NRO.M2
Units per Townhouse	_____	2 max. ¹	_____
Townhouses per Building	3 max.	5 max.	8 max.
Buildings per Design Site	_____	1 max.	_____

¹ Reflects multiple flats stacked vertically

General Note: Photos on this page are illustrative, not regulatory.

Photos.
City to decide if photo(s) to be replaced with other example(s) of the type.



Key

- ROW/ Design Site Line
- Building
- Building Setback Line

3. Building Size and Massing

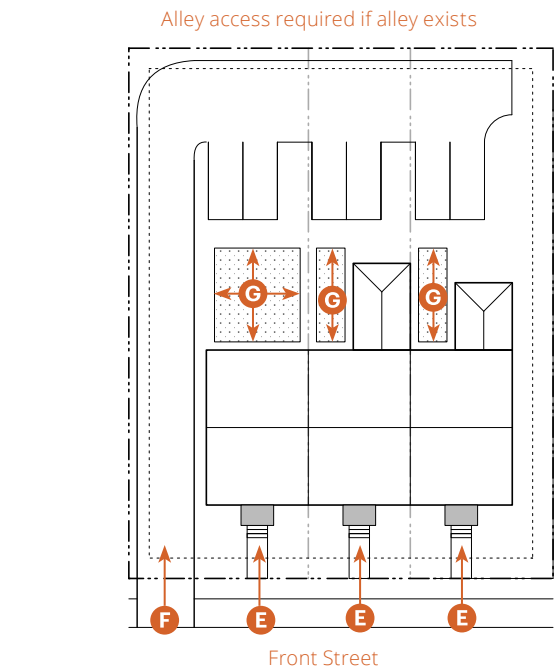
Height	NRO.S2	NRO.M1	NRO.M2	
Stories	— 2.5 max. —		3 max.	
Main Body ²				
Depth per Unit	40' max.	40' max.	48' max.	A
Width per Building	60' max.	80' max.	128' max.	B
Wing(s) ^{2,3}				
Width	— 14' max. —			C
Depth	— 28' max. —			D
Separation between Wings	— 15' min. —			
on Same Façade				
Offset from Main Body	5' min.	at façades along front street and side street		

Massing Types (Per Building)

Sloped Roof Bar	Section 4.120.1.B
Sloped Roof T	Section 4.120.1.D
Sloped Roof Forecourt	Section 4.120.1.E

² In compliance with Subsection 2 of the overlay zone

³ Except in NRO.M2, height is limited to 1 story less than main body and 10' less to highest eave/parapet.



Key

- ROW/ Design Site Line
- Frontage
- Building Setback Line
- Shared yard

4. Pedestrian Access

Main Entrance Location	Front Street	E
------------------------	--------------	---

Each unit shall have an individual entry facing a street.

5. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection 6 of the overlay zone.	F
--	---

Parking may be covered, uncovered, or in a garage.

6. Yard

Private Yard Space		
Size	8' x 8' min.	G

Required setbacks and driveways do not count toward private yard space.

Required private yard space shall be located behind the main body of the building.

4.100 Courtyard



Example of 3-Story Courtyard



Example of 3-Story Courtyard



Example of 2.5-Story Courtyard

1. Description

A detached, House-Scale Building that consists of up to 16 multiple attached and/or stacked units, accessed from a shared courtyard. The shared court is shared yard space and takes the place of a rear setback. The type is typically integrated as a small portion of lower-intensity neighborhoods or more consistently into moderate-intensity neighborhoods.

Synonym: Courtyard Apartment

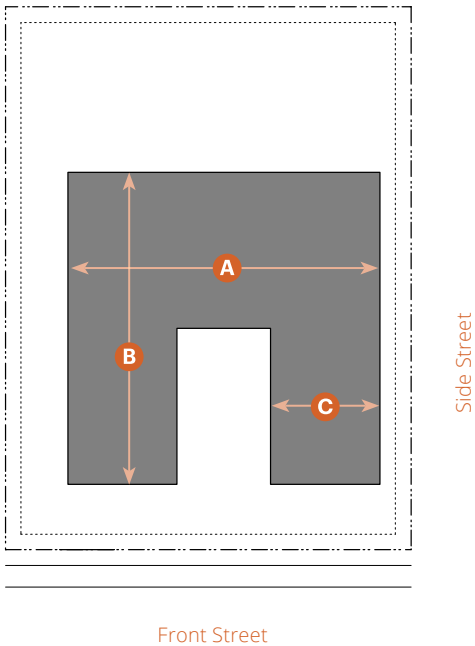
2. Number of Units

	NRO.M1	NRO.M2
Units per Building	12 max.	16 max.
Buildings per Design Site	1 max.	

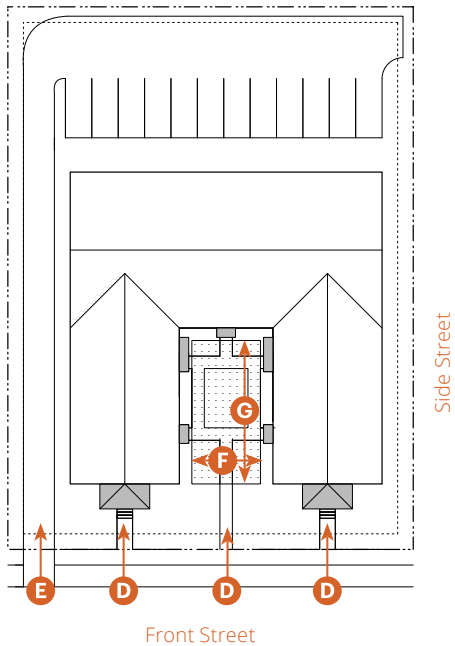
General Note: Photos on this page are illustrative, not regulatory.

Photos.
City to decide if photo(s) to be replaced with other example(s) of the type.

Alley access required if alley exists



Alley access required if alley exists



Key

- ROW/ Design Site Line
- Building
- Building Setback Line

3. Building Size and Massing

Height	NRO.M1	NRO.M2
Stories	2.5 max.	3 max.
Main Body ¹		
Overall Width	75' max.	100' max. A
Overall Depth	60' max.	100' max. B
Size	40' max.	C

Massing Types

Sloped Roof L Courtyard	(L shaped) Section 4.120.1.F
Sloped Roof Front Courtyard	(U-shaped) Section 4.120.1.G

¹ In compliance with Subsection 2 of the overlay zone

Key

- ROW/ Design Site Line
- Frontage
- Building Setback Line
- Shared Yard

4. Pedestrian Access

Main Entrance Location ²	Courtyard or Street	D
-------------------------------------	---------------------	----------

² The main entry of ground floor units shall be directly off of a courtyard or street, whichever is closer.

5. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection 6 of the overlay zone. **E**

Parking may be covered, uncovered, or in a garage.

6. Shared Yard

Shared Yard space	L-shaped	U-shaped
Width (clear)	20' min. ³	25' min. F
Depth (clear)	30' min. ⁴	35' min. ⁴ G

Courtyard(s) shall be accessible from the front street.

Multiple courtyards are required to be connected via a Passage through or between buildings.

Building shall define at least two walls of the courtyard.

Front of courtyard not defined by building may be defined by 2'-6" to 5' tall wall with entry gate/door.

³ 25' min. for a 3-story building.

⁴ 50' min. for a 3-story building.

4.110 Multiplex



Example of 2.5-Story Multiplex



Example of 2.5-Story Multiplex



Example of 3-Story Multiplex

1. Description

A medium-to-large-sized, detached, House-Scale Building that consists of up to 18 side-by-side and/or stacked units, typically with one shared entry. The type is scaled to fit within moderate-intensity neighborhoods.

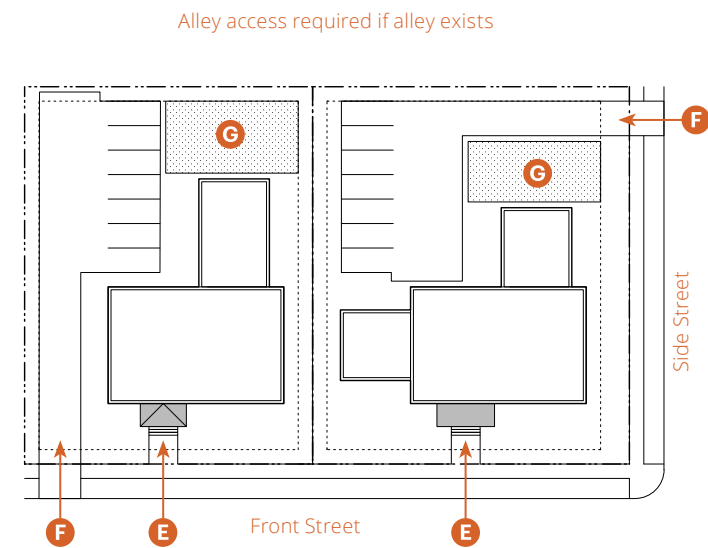
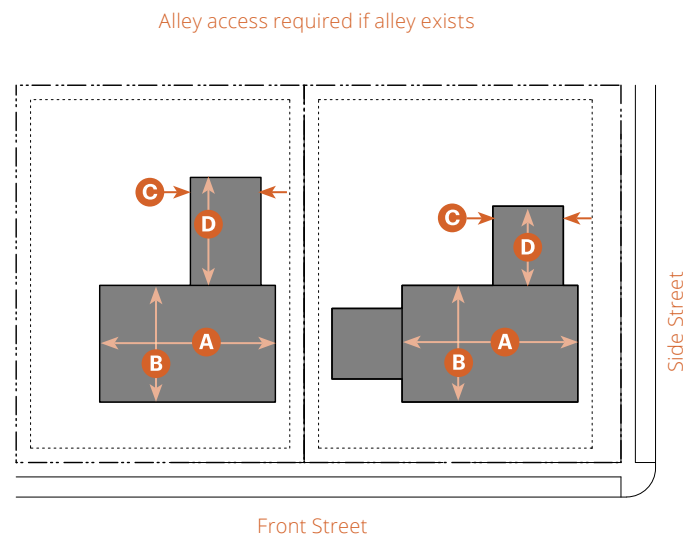
Synonym: Mansion Apartment

2. Number of Units

	NRO.M1	NRO.M2
Units per Building	8 max.	18 max.
Buildings per Design Site	1 max.	

General Note: Photos on this page are illustrative, not regulatory.

Photos.
City to decide if photo(s) to be replaced with other example(s) of the type.



Key

- ROW/ Design Site Line
- Building
- Building Setback Line

3. Building Size and Massing

Height	NRO.M1	NRO.M2
Stories	2.5 max.	3 max.
Main Body¹		
Width	60' max.	A
Depth	60' max.	B
Wing(s)^{1,2}		
Width	24' max.	C
Depth	30' max.	D
Separation between Wings on Same Façade	15' min.	
Offset from Main Body	5' min. ³	3' min. ³

Massing Types

Sloped Roof Bar	Section 4.120.1.B
Sloped Roof L	Section 4.120.1.C
Sloped Roof T	Section 4.120.1.D
Sloped Roof Forecourt	Section 4.120.1.E

¹ In compliance with Subsection 2 of the overlay zone

² In NRO.M1 overlay zone, height is limited to 1 story less than main body and 10' less to highest eave/parapet.

³ At façades along front street and side street

Key

- ROW/ Design Site Line
- Frontage
- Building Setback Line

4. Pedestrian Access

Main Entrance Location	Front Street	E
------------------------	--------------	---

Units located in the main body shall be accessed by a common entry along the front or side street.

On corner design sites, units in a wing may enter from the side street.

5. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection 6 of the overlay zone.	F
--	---

Parking may be covered, uncovered, or in a garage.

6. Shared Yard⁴

Area	400 sf	G
Min. Dimension	15'	

Required setbacks and driveways do not count toward shared yard space.

Required shared yard space shall be located behind the main body of the building.

⁴ None required if the building is within 800' of public open space.

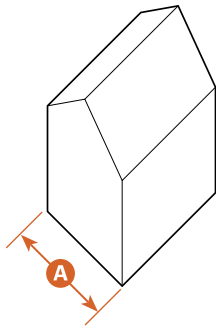
4.120 Massing Types

1. Massing Types

Select from the allowed massing types in Subsection 3 of the building type and apply the standards to the main body width and along the side street.

The selected main body massing type serves as an organizational framework for the building form but shall not preclude the incorporation of secondary architectural features such as bay windows, balconies, gables, dormers, tower elements, projections, recesses, or stepbacks in compliance with [Chapter xx \(Architectural Standards\)](#) and the applicable zone standards.

A. Sloped Roof Box

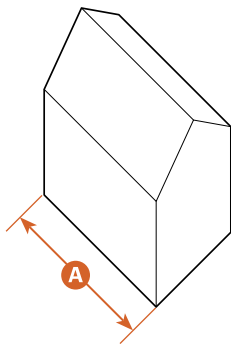


This massing type is a simple rectilinear form that is deeper than it is long.

Main Body

Main Body Width	Max. allowed by Subsection 3 of the building type	A
Roof Form	Gable, Hip, Shed	

B. Sloped Roof Bar

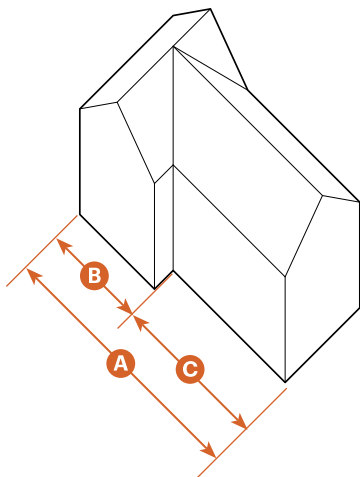


This massing type is a simple rectilinear form that is longer than it is deep.

Main Body

Main Body Width	Max. allowed by Subsection 3 of the building type	A
Roof Form	Gable, Hip, Shed	

C. Sloped Roof L



This massing type divides the façade into two parts, with one part projecting and one part set back to create a shallow forecourt.

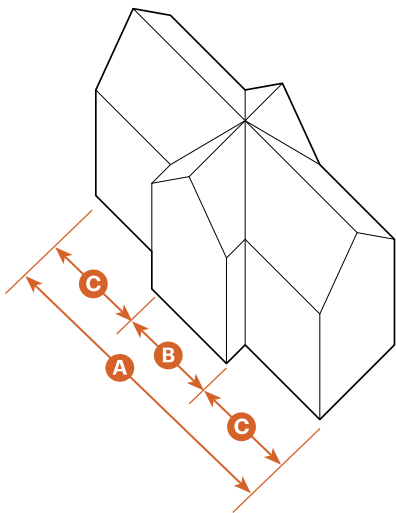
Main Body

Main Body Width	Max. allowed by Subsection 3 of the building type	A
Projecting Volume ¹	1 bay min.; 3 bays max.	B
Recessed Façade ¹	1 bay min.; 5 bays max.	C
Roof Form	Gable, Hip, Shed	

¹ Façades of intersecting volumes shall be offset by a minimum of 3 feet.

1. Main Body Massing Types (Continued)

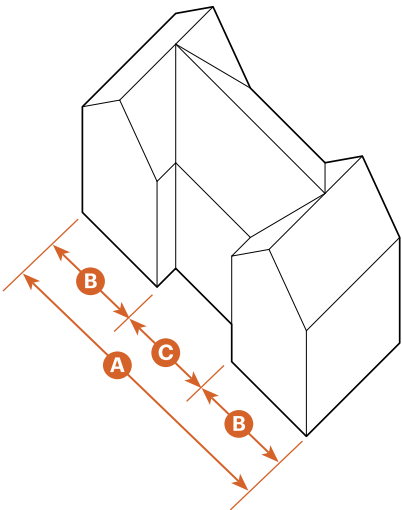
D. Sloped Roof T



This massing type divides the façade into three parts, with the middle part projecting.

Main Body		
Main Body Width	Max. allowed by Subsection 3 of the building type	A
Projecting Volume ¹	1 bay min.; 3 bays max.	B
Recessed Façade ¹	1 bay min.; 5 bays max.	C
Roof Form	Gable, Hip, Shed	

E. Sloped Roof Forecourt



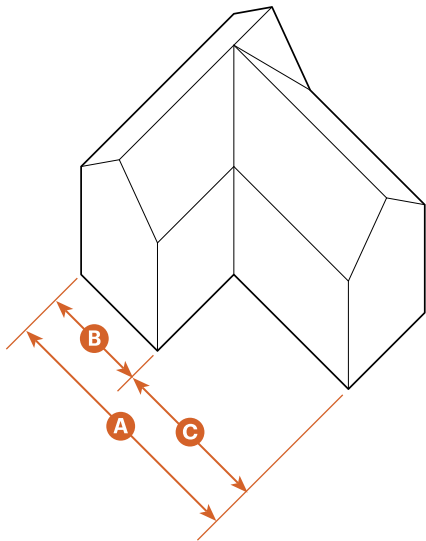
This massing type divides the façade into three parts, with the middle part set back slightly to create a shallow forecourt.

Main Body		
Main Body Width	Max. allowed by Subsection 3 of the building type	A
Projecting Volume ¹	1 bay min.; 3 bays max.	B
Recessed Façade ¹	1 bay min.; 7 bays max.	C
Roof Form	Gable, Hip, Shed	

¹ Façades of intersecting volumes shall be offset by a minimum of 3 feet.

1. Main Body Massing Types (Continued)

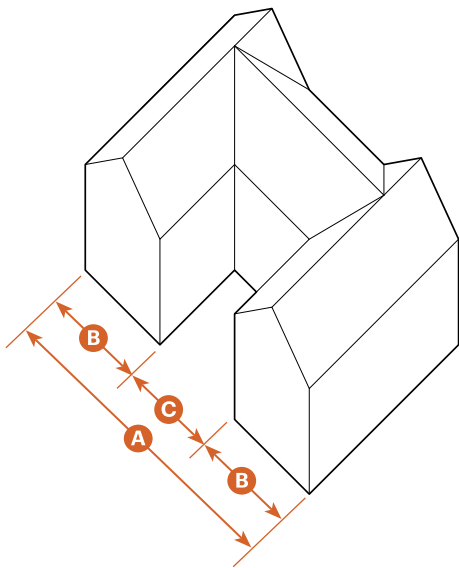
F. Sloped Roof L Courtyard



This massing type divides the façade into two parts, with one part set back substantially to create a courtyard.

Main Body		
Main Body Width	Max. allowed by Subsection 3 of the building type	A
Projecting Volume ¹	1 bay min.; 3 bays max.	B
Recessed Façade ¹	1 bay min.; 7 bays max.	C
Roof Form	Gable, Hip, Shed	

G. Sloped Roof Front Courtyard



This massing type divides the façade into three parts, with the middle part set back substantially to create a courtyard.

Main Body		
Main Body Width	Max. allowed by Subsection 3 of the building type	A
Projecting Wing ¹	1 bay min.; 3 bays max.	B
Center Façade ¹	1 bay min.; 5 bays max.	C
Roof Form	Gable, Hip, Shed	

¹ Façades of intersecting volumes shall be offset by a minimum of 3 feet.

Chapter #A2: Frontage Types

Sections:

#A2.010	Purpose
#A2.020	General Standards
#A2.030	Overview of Frontage Types
#A2.040	Porch Projecting
#A2.050	Porch Engaged
#A2.060	Dooryard
#A2.070	Stoop
#A2.080	Common Entry

#A2.010 Purpose

This Chapter provides the standards for private frontages ("frontages"). Private frontages are the components of a building that provide the transition and interface between the public realm (street and sidewalk) and the private realm (setback or building).

#A2.020 General Standards

1. The names of the private frontage types indicate their particular configuration or function and are not intended to limit uses within the associated building.
2. Each building is required to include a private frontage type at each building entry along the front and/or side street or adjacent shared yard space.
3. The ground floor, for a minimum depth as identified in Subsection 4 of the zone, is required to be habitable/occupiable space in compliance with this Chapter. Accessibility is provided through the allowed private frontage types for each zone.
4. Private frontage types not listed in Subsection 8 of the zone are not allowed in that zone.
5. Each building may have different private frontage types in compliance with the allowed types in Subsection 8 of the zone.
6. Each private frontage type shall be located in compliance with the façade zone per Subsection 5 of the zone.
7. Standards are stated for the front and side street façades of a design site.
8. In addition to the zone's standards, each private frontage is further refined through these standards to further calibrate the type for its context.

#A2.030 Overview of Frontage Types

Table A (Frontage Types Overview) provides a summary of the allowed private frontage types in each zone. See referenced Section(s) for standards.

Table #A2.030.A: Frontage Types Overview					
Private Frontage Type	Specific Standards	Zones			
		NRO.S1	NRO.S2	NRO.M1	NRO.M2
Porch Projecting	#A2.040	P	P	P	P
Porch Engaged	#A2.050	P	P	P	P
Dooryard	#A2.060	P	P	P	P
Stoop	#A2.070	X	P	P	P
Common Entry	#A2.080	X	X	P	P
Key	P = Allowed X = Not Allowed				

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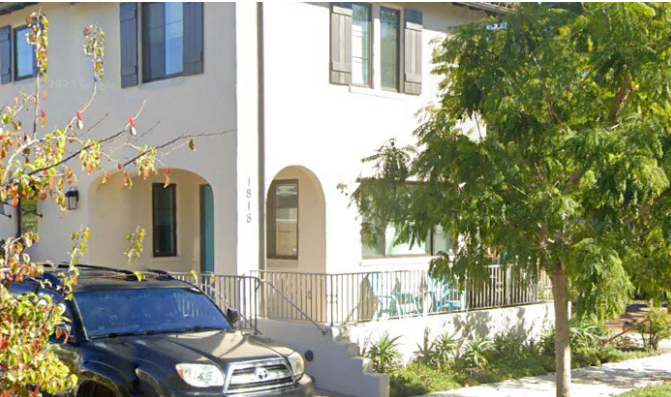
#A2.040 Porch Projecting



Example of a Projecting Porch



Example of a Projecting Porch

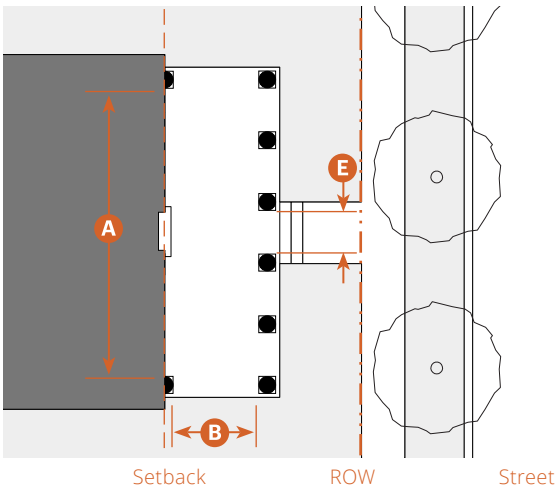
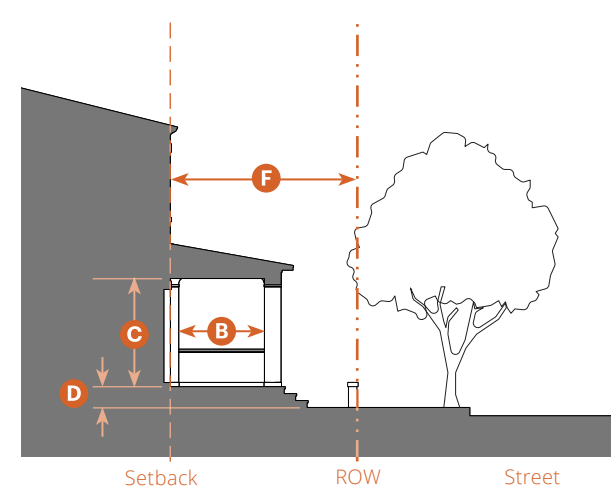


Example of an Uncovered Projecting Porch

1. Description

The main façade of the building is set back from the front or side street design site line with a covered structure encroaching into the front setback. The resulting setback area may be defined by a fence or hedge to spatially maintain the edge of the street. The Porch may be one or two stories, is open on three sides, with all habitable space located behind the building setback line.

General Note: Photos on this page are illustrative, not regulatory.



Key
--- ROW/ Design Site Line - - - - - Setback Line

2. Size		
Width, Clear	15' min. ¹	A
Depth, Clear	8' min.	B
Height, Clear	8' min.	C
Stories	2 stories max.	
Finish Level above Sidewalk	12" min. ²	D
Pedestrian Access	3' wide min.	E
Distance between façade and Design Site Line	15' min.	F

¹ Reduce to 8' min. and maximum 1 story when applied to Cottage Housing building type

² Shared entries may be set at grade per local and federal accessibility standards.

3. Miscellaneous
- Porch shall be open on three sides. Clear glass may be installed between the porch columns.
 - The porch is not required to be covered.
 - The Porch is allowed to encroach into the front and side street setbacks in compliance with Subsection 6 of the zone.
 - Ramps are required to be integrated along the side of the building to connect with the Projecting Porch.

City to decide if specific building type standards prevail over current local standards. Before deciding that local standards prevail, consideration should be given to how current local standards might change the outcome proposed by this building type.

#A2.050 Porch Engaged



Example of an Engaged Porch



Example of a Engaged Porch

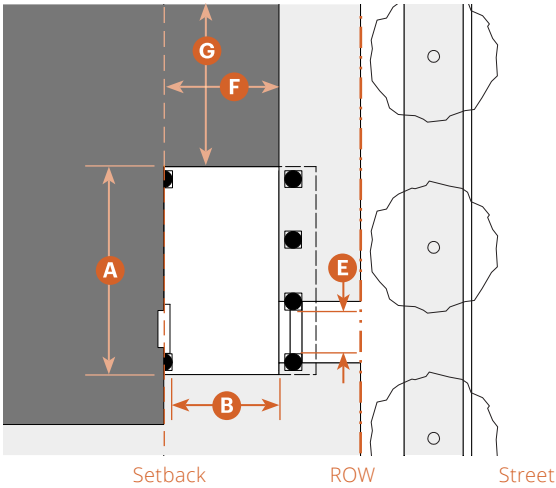
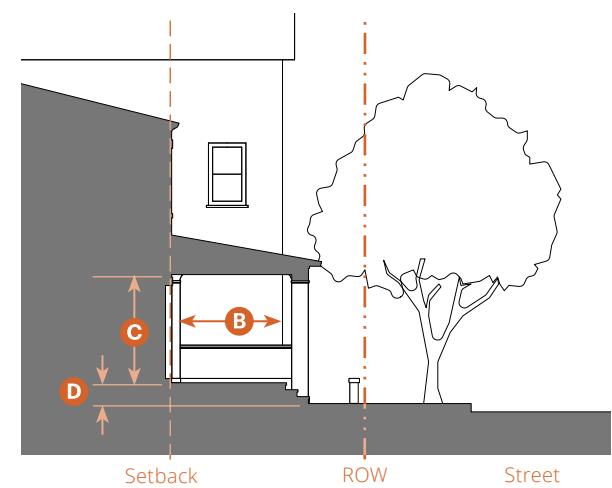


Example of an Engaged Porch

1. Description

A portion of the main façade of the building is set back from the front or side street design site line to create an area for a covered structure that projects from the façade that is set back. The Porch may project into the front setback. The resulting setback may be defined by a fence or hedge to spatially maintain the edge of the street. The Porch may be one or two stories and has two adjacent sides that are engaged to the building, while the other two sides are open.

General Note: Photos on this page are illustrative, not regulatory.



Key

--- ROW/ Design Site Line - - - - - Setback Line

2. Size

Width, Clear	8' min.	A
Depth, Clear	8' min.	B
Height, Clear	8' min.	C
Stories	2 stories max.	
Finish Level above Sidewalk	12" min. ¹	D
Pedestrian Access	3' wide min.	E
Encroachment Area of Building Façade		
Depth	6' max.	F
Width	1/3 min. of overall building façade	G

¹ Shared entries may be set at grade per local and federal accessibility standards.

3. Miscellaneous

Up to 20% of the building façade and porch(es) may project into the front setback line for the zone.

Porch shall be open on two sides. Clear glass may be installed between the porch columns.

The Porch is allowed to encroach into the front and side street setbacks in compliance with Subsection 6 of the zone.

Ramps are required to be integrated along the side of the building to connect with the Engaged Porch.

City to decide if specific building type standards prevail over current local standards. Before deciding that local standards prevail, consideration should be given to how current local standards might change the outcome proposed by this building type.

#A2.060 Dooryard



Example of a Dooryard



Example of a Dooryard

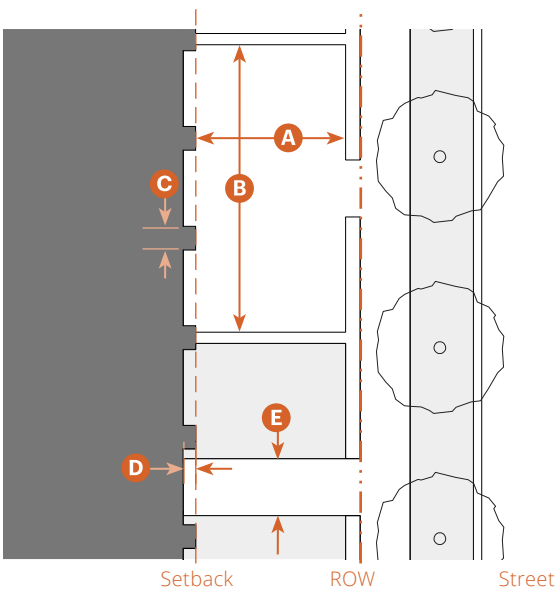
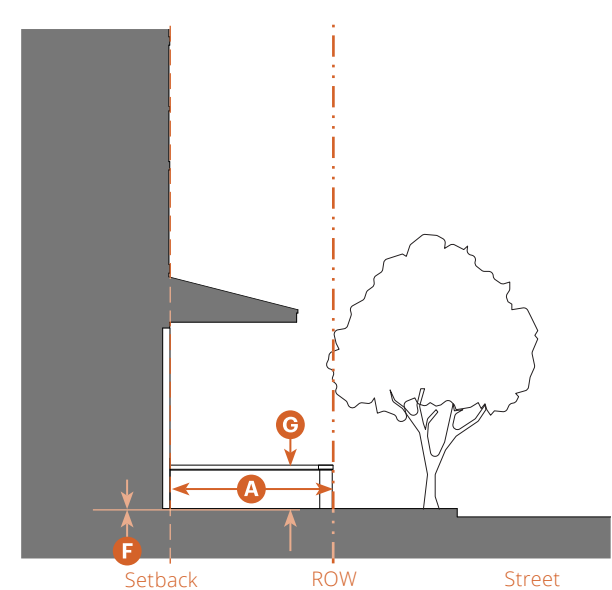


Example of a Dooryard

1. Description

The main façade of the building is set back from the front or side street design site line, which is defined by a low wall or hedge, creating a small private area between the sidewalk and the façade. Each Dooryard is separated from adjacent Dooryards. The Dooryard may be raised or at grade.

General Note: Photos on this page are illustrative, not regulatory.



Key
--- ROW/ Design Site Line - - - - - Setback Line

2. Size		
Depth, Clear	6' min.	A
Length	15' min.	B
Distance between Glazing	4' max.	C
Depth of Recessed Entries	3' max.	D
Pedestrian Access	3' wide min.	E
Finish Level above Sidewalk	12" max. ¹	F
Height of Dooryard Fence/Wall above Finish Level	36" max.	G

¹ Shared entries may be set at grade per local and federal accessibility standards.

3. Miscellaneous

Each Dooryard shall provide access to only one ground floor entry.

The Dooryard is allowed to encroach into the front and side street setbacks in compliance with Subsection 6 of the zone.

Ramps are required to be integrated along the side of the building to connect with the Dooryard.

City to decide if specific building type standards prevail over current local standards. Before deciding that local standards prevail, consideration should be given to how current local standards might change the outcome proposed by this building type.

#A2.070 Stoop



Example of a Stoop



Example of a Stoop

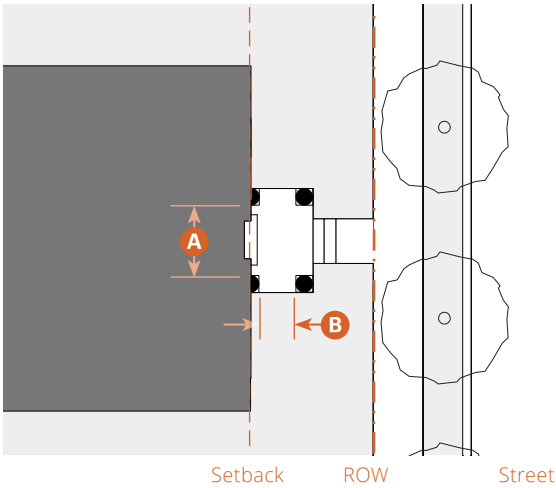
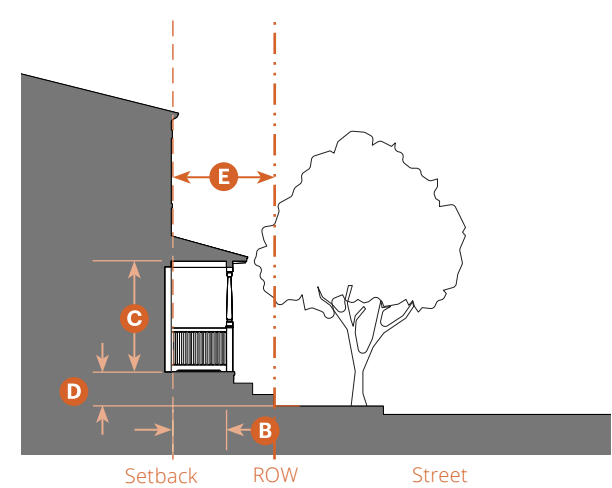


Example of a Stoop

1. Description

The main façade of the building is near the front or side street design site line with steps to an elevated entry. The Stoop is elevated above the sidewalk to provide privacy along the sidewalk-facing rooms. Stairs or ramps from the Stoop may lead directly to the sidewalk or may be parallel to the sidewalk.

General Note: Photos on this page are illustrative, not regulatory.



Key

--- ROW/ Design Site Line Setback Line

2. Size

Width, Clear	4' min.	A
Depth, Clear	3' min.	B
Height, Clear	8' min.	C
Stories	1 story max.	
Finish Level above Sidewalk	12" min.	D
Distance between façade and Design Site Line	6' min.	E

3. Miscellaneous

- Stairs may be perpendicular or parallel to the building façade.
- Entry doors shall be covered or recessed to provide shelter from the elements.
- All doors shall face the street.
- The Stoop is allowed to encroach into the front and side street setbacks in compliance with Subsection 6 of the zone.
- Ramps are required to be integrated along the side of the building to connect with the Stoop.

City to decide if specific building type standards prevail over current local standards. Before deciding that local standards prevail, consideration should be given to how current local standards might change the outcome proposed by this building type.

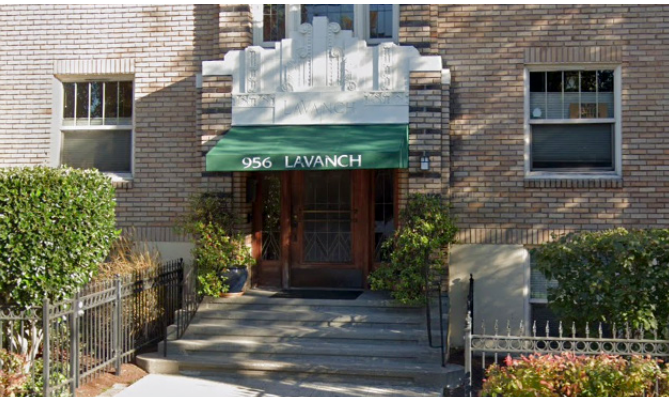
#A2.080 Common Entry



Example of a Common Entry



Example of a Common Entry

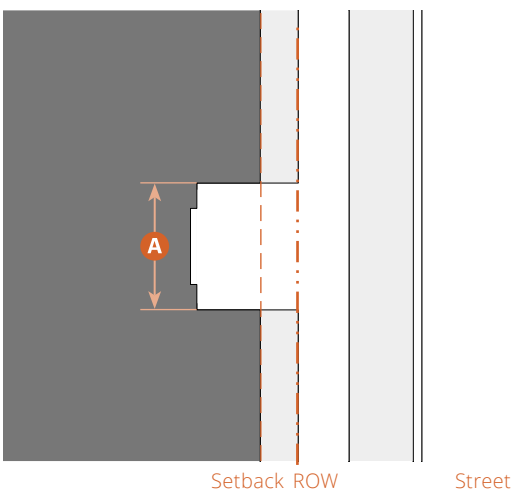
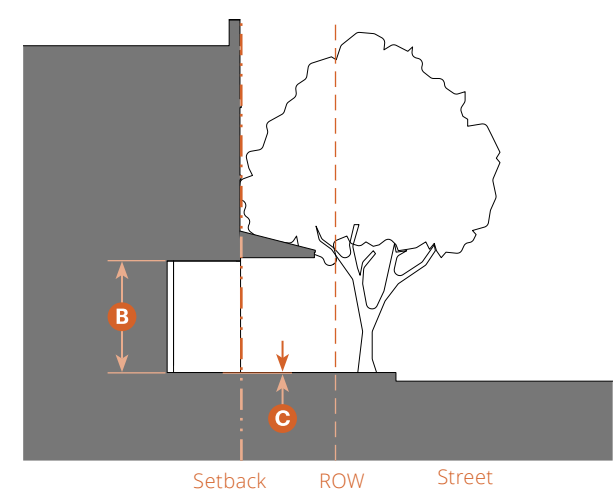


Example of a Common Entry

1. Description

The main façade of the building is near or set back from the front or side street design site line, with a covered entry within the main façade, providing a transition between the sidewalk and the interior. The entryway leads to a lobby or foyer that provides interior access to units.

General Note: Photos on this page are illustrative, not regulatory.



Key

--- ROW/ Design Site Line - - - - - Setback Line

2. Size		
Width, Clear	6' min.	A
Height to Canopy/Ceiling, Clear	2.5 x Clear Width max.	B
Finish Level above Sidewalk	0" min.; 30" max.	C

3. Miscellaneous	
Entry doors shall be covered and/or recessed to provide shelter from the elements.	
Gates are not allowed.	
Entry doors shall face the street.	
Canopy, where provided, shall be at least as wide as the opening.	

City to decide if specific building type standards prevail over current local standards. Before deciding that local standards prevail, consideration should be given to how current local standards might change the outcome proposed by this building type.

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Chapter #B: Architectural Standards

Sections:

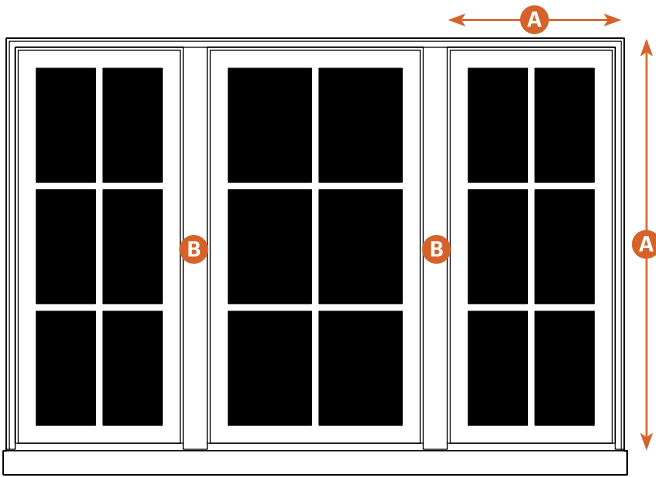
#B.010	Purpose
#B.020	Applicability
#B.030	Exterior Elements
#B.040	Exterior Materials
#B.050	Privacy

#B.010	Purpose
	This Chapter sets forth standards that supplement the overlay zone standards to further refine the intended building form and physical character.

#B.020	Applicability
	Unless stated otherwise, all subsections within this Chapter apply to front façades, side street façades, side interior façades, and rear façades. Fire walls, visible party walls, and side interior façades less than 5 feet from a shared design site line are exempt.

Standards.
City to determine if changes to the numerical standards are necessary for local needs. City also to decide if additional topics are to be regulated and add those standards, or if some topics and standards are not to be regulated and removed from these pages.

#B.030 Exterior Elements

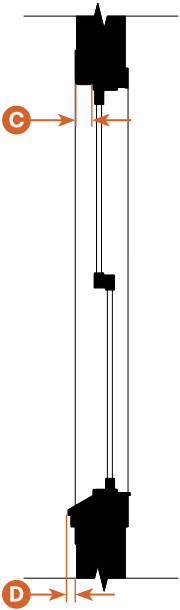


Window Elevation

1. Windows		
Opening Proportion		
At least 75% of individual windows on each building shall be oriented vertically (width no greater than height). Windows with width greater than their height shall be ganged with vertically-oriented windows or doors.		
Mullions		
Mullions required between ganged windows.		
Window Frame Recess from Wall Finish Surface		
Punched Openings	2" min.	
All Other Windows	No min.	
Sill ¹		
Projection from Wall Finish Surface	1" min.	
Slope (Toward Exterior)	1:12 min.	
Extension Beyond Sides of Opening	1/2 sill height, min. ²	

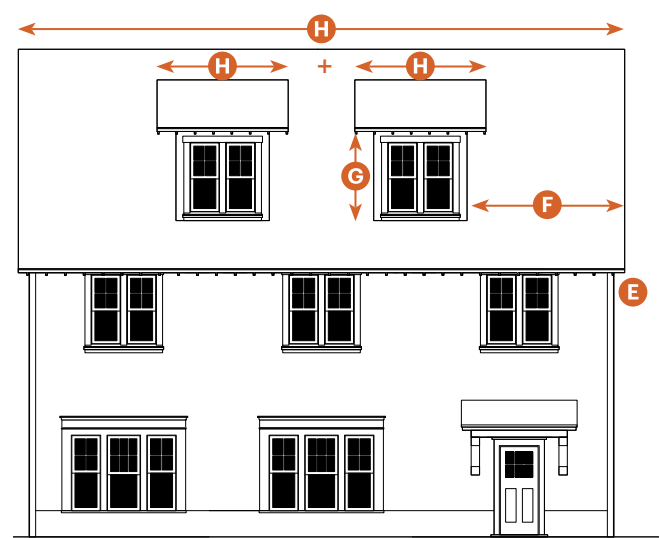
¹ Required only for windows or groups of windows within punched openings

² Required only for windows surrounded by masonry finish material.



Window Section

1. Windows (Continued)		
Surround		
Requirements with Siding or Shingle Finish Material		
Trim Widths		
Head	2" min.	
Jamb	2" min.	
Apron	3" min.	
Requirements with Masonry Finish Material		
Window openings surrounded by masonry finish materials shall be spanned by a lintel or arch.		
Lintel		
Height	1/8 of opening width, min.	
Extension Beyond Sides of Opening	1/2 lintel height, min.	
Within an arch, all joints shall align with a common point on the opening's center line.		
Where expressed, the keystone shall be centered on the opening's center line.		
Vertical joints along the center line are not allowed.		



Roof and Dormers

2. Roof

The primary roof form shall be designed according to the applicable massing type(s) for the selected building type, subject to the standards and exceptions in this Subsection.

Roof Pitch

Gable/Hip Roofs	3:12 min.
Shed (Monopitch) Roofs	2:12 min.
Flat Roofs	No min.
Porch Roofs	3:12 min. ³

Roof Detailing

Sloped Roofs

Eave Depth	8" min. or profiled	E
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Flat Roofs

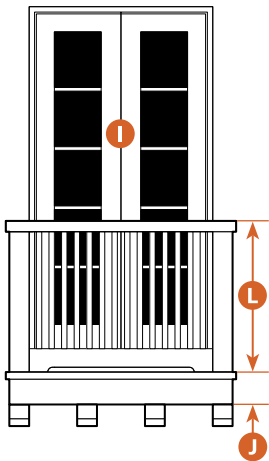
Flat roof shall include parapet to conceal all roof areas/ equipment from view of a public street or space.
Parapet shall match the materials and finishes used on the building walls.

Dormers may project above the planes defined by the massing type's primary roof form.
False fronts, applied mansard forms, and other artificial rooflines that do not connect elevations are prohibited.

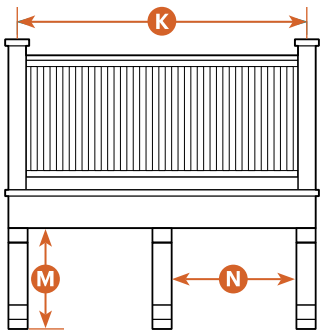
Vents and Ducts

All vents and ducts shall protrude either behind the parapet of a flat roof or within the upper half of a sloped roof, painted to match the roof surface.

³ Porches may have a shallower roof pitch than the main body of the building.



Juliet Balcony



Occupiable Balcony

3. Dormers

Separation from Roof Edge	2' min.	F
Height to Dormer Eave	6' max.	G
Total width of dormer(s) within a roof plane shall not exceed 50% of the width of the roof plane.		H

4. Balconies

Allowed Types

Type 1 - Juliet Balcony

Inward-swinging doors with full glazing required		I
Base Height (Required)	3" min.	J
Base Projection (Required)	4" min.	

Type 2 - Occupiable Balcony

Depth	6' min.	
Area	48 sf min.	
Recess into Facade	54" max.	
Overall Width	10'0" max.	
Width Between Posts	3' min. on center	K

Guard/Railing (Required)

Height	Per Building Code	L
--------	-------------------	---

Brackets

Depth	80% of projection depth at bracket, min.	
Height	50% of bracket depth, min.	M
Spacing	6' on center, max.	N

5. Architectural Open Space Types

Any habitable outdoor space supported by the building structure, including occupiable balconies, shall either be uncovered or sheltered according to one of the following patterns:

Pergola



This type shall include posts and beams supporting a semi-open roof structure or lattice.

Posts shall be no narrower than 3.5 inches or 1/20 of the unbraced post length, whichever is greater.

Post and Beam



This type shall include posts and beams connected by brackets and supporting a full floor/roof structure.

Posts shall be no narrower than 3.5 inches or 1/20 of the unbraced post length, whichever is greater.

Arched Openings



Arched openings shall be bounded by columns, piers, or sections of solid wall supporting a full floor/roof structure.

The ratio of column diameter at lowest part of shaft to column height shall be no less than 1:10 and no greater than 1:7.

Width of wall sections or piers at outside corners shall be no less than 1/3 of the opening width. Piers between multiple arched openings may be narrower.

Rectilinear



This space type shall be bounded by square/rectangular piers framing rectilinear wall openings and supporting a full floor/roof structure.

If lintels are expressed on the façade, they shall extend over the piers by half the lintel height at each end.

Piers shall be no narrower in any dimension than 15.5 inches or 1/6 of the opening width, whichever is greater.

Piers at corners shall be wider than piers between openings.

Textile Shading



This space type shall be shaded by fabric elements, such as awnings or stretched canvas, secured to the building structure.

Sheltered by Main Roof Form



This space type shall be covered by a roof supported by other building volumes.

#B.040 Exterior Materials**1. Durability**

- A. Exterior timber shall be protected from decay by at least one of the following:
 - (1) Staining and sealing;
 - (2) Painting; and/or
 - (3) Material properties. Pressure treated lumber is not allowed as a façade finish material. The following types of unpainted wood are allowed:
 - (a) Teak
 - (b) Cedar
 - (c) Redwood
 - (d) White Oak
 - (e) Ipe/Brazilian Walnut
 - (f) Bald Cypress
 - (g) Black Locust
- B. Exterior ferrous metals shall be protected from corrosion by at least one of the following:
 - (1) Painting or other impermeable coating; and/or
 - (2) Metallurgical properties. The following types of metal are allowed:
 - (a) Galvanized steel
 - (b) Stainless steel
 - (c) Weathering steel (e.g., COR-TEN)

2. Materials Defining Building Elements

- A. Bays. Changes in wall finish material shall occur at the boundaries between bays rather than within a bay.
- B. Parapet.
 - (1) Parapets shall terminate in a parapet cap of stone, brick, concrete, tile, metal, or molded stucco.
- C. Materials Allowed for Building Details/Ornament
 - (1) Wood
 - (2) Metal (steel, copper, aluminum, tin)
 - (3) Glass fiber reinforced concrete (GFRC)/fiberglass
 - (4) Terra-cotta
 - (5) Tile
 - (6) Plaster

#B.050 Privacy

1. **Intent.** These standards are designed to provide privacy, while seated, between primary living spaces of buildings on each side of a lot line where side setbacks are required or provided where not required. Windows and balconies along the side of a building within 20 feet of an interior side lot line in all zones are subject to these standards.
2. **Standards**

A. Primary living spaces adjoining an interior side setback shall either:

(1) Orient principal/main windows/glazed openings toward the front and rear of the building, away from interior side lot lines; or

(2) Set the window/glazing openings:

(a) Perpendicular to interior side lot lines; or

(b) More than six feet from interior side lot lines

B. Windows within 6 feet of an interior side lot line shall either:

(1) Have a minimum sill height of 44 inches; or

(2) Place the window at an angle of at least 30 degrees, measured perpendicular to the adjacent side lot line.

C. Balconies are prohibited within 6 feet of an interior side lot line.
- Figure #B.050.1: Sill Height Standards along Interior Side Lot Line
- | | |
|------|---|
| — — | Lot Line |
| ---- | Sideyard Setback Line |
| | Area Within 6' of Lot Line |
| | Principal Window |
| | 44" min. Sill Height |
| | No Limitation on Sill Heights (Window at 30° angle) |
- 82 Middle Housing Toolkit Of Objective Design + Development Standards (ODDS) | Puget Sound Region: Detailed Standards
- June 30, 2023
- 107

Chapter #C: Large Site Standards

Sections:

#C.010	Purpose
#C.020	Walkable Neighborhood Plan

#C.010 Purpose

This Chapter establishes standards to create walkable neighborhoods from parcels of 5 acres or more.

- 1. Development subject to this Chapter is required to create and reinforce walkable neighborhoods with a mix of housing, civic, retail, and service uses within a compact, walkable, and transit-friendly environment.
- 2. Developments in compliance with this Section shall achieve the following goals:
 - A. Improve the built environment and human habitat;
 - B. Promote development patterns that support safe, effective, and multi-modal transportation options, including auto, pedestrian, bicycle, and transit;
 - C. Reduce vehicle traffic and support transit by providing for a mixture of land uses, highly interconnected block and street network, and compact community form;
 - D. Generate or reinforce neighborhoods with a variety of housing types to serve the needs of a diverse population;
 - E. Promote the health benefits of walkable environments;
 - F. Generate pedestrian-oriented and scaled neighborhoods where the automobile is accommodated but does not dominate the streetscapes;
 - G. Reinforce the unique identity of [Jurisdiction](#) and build upon the local context, climate, and history;
 - H. Realize development based on the patterns of existing walkable neighborhoods; and
 - I. Design that suits specific topographical, environmental, design site layout, and design constraints unique to the design site.

Project Size.
City to decide if proposed thresholds are to be decreased or increased (e.g., change 5 acre threshold to 4 acres).

#C.020 Walkable Neighborhood Plan

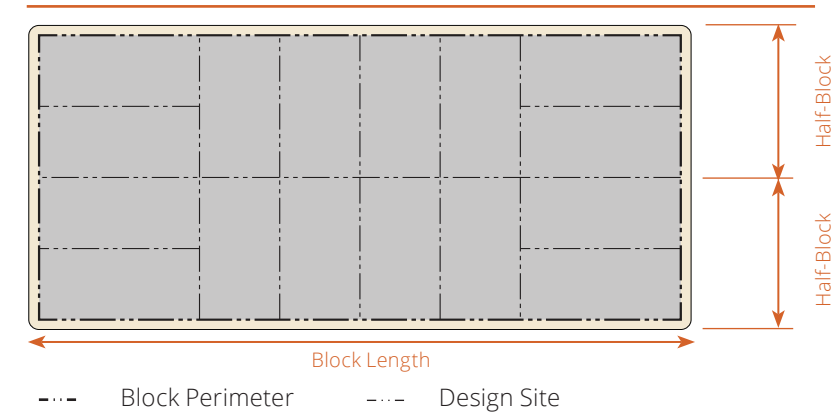
1. **Applicability.** As required by Table 2.020.A. Projects of 5 acres or more are subject to the requirements for a Walkable Neighborhood Plan (WNP) as described in this Chapter.
2. **Required Walkable Neighborhood Plan Content**
 - A. Each WNP shall include a set of plans that show the proposed physical character of the development, in plan view:
 - (1) Boundaries of the proposed development;
 - (2) Existing and proposed blocks within a 1,500 foot radius of the development boundaries;
 - (3) New or modified public open space(s), in compliance with Section #C.040 (Public Open Spaces);
 - (4) Proposed overlay zones, in compliance with Subsection 3 of this Chapter;
 - (5) New or modified thoroughfare(s), in compliance with Section #C.030 (Thoroughfares). Proposed trees and landscaping along thoroughfares and in public open space types; and
 - (6) Identification of the proposed buildings or building types and private frontage types on each block in compliance with the zone standards.
 - (a) As individual needs of a development may change over time, the building types specified in the WNP may be substituted with other building types allowed by the zone in compliance with the zone standards.
3. **Walkable Neighborhood Plan Standards**
 - A. **Thoroughfares and Blocks Required**
 - (1) New blocks within a development are to be created using only the thoroughfares (public or private) with Section #D.030 (Thoroughfares) or public open space types in Section #C.040 (Public Open Spaces).
 - (2) Individual block lengths and the total block perimeter shall be in compliance with the standards in Table A (Block Size Standards).
 - (a) The arrangement of new thoroughfares shall provide for the alignment and continuation of existing or proposed streets into adjoining lands where the adjoining lands are undeveloped and intended for future development, or where the adjoining lands are undeveloped and include opportunities for such connections.
 - (b) Thoroughfares shall be extended to or along adjoining property boundaries to provide a roadway connection or street stub for development, in compliance with Table A (Block Size Standards), for each direction (north, south, east, and west) in which development abuts vacant land.
 - (c) Right-of-way stubs shall be identified and include a notation that all stubs are to connect with future thoroughfares on adjoining property and be designed to transition in compliance with Section #C.030 (Thoroughfares).
 - (d) New dead-end streets and cul-de-sacs are not allowed.
 - (3) If a zone that requires building types is mapped onto a block, the block shall be wide enough to result in two halves of developable design sites in compliance with the design site depth standards of the zone.

- (4) An attached half-block is allowed to adjoin an existing half-block.
- (5) Blocks may be uniquely shaped in compliance with the standards in Table A (Block Size Standards), and the allowed adjustments in Table #E2.030.A (Adjustments to Standards for Lots Less Than 10% Slope) and Table #E2.030.B (Adjustments to Standards for Lots Over 10% Slope).

Table #C.020.A: Block Size Standards		
Block Length	Block Perimeter	Depth of Attached Half-Block(s) ¹
500' max.	1,800' max.	300' max.
700' max. with mid-block passage	1,800' max.	300' max.

¹ Distance from thoroughfare or public ROW to shared property line

Figure #C.020.1 Block Size



B. Public Open Space Required

- (1) A minimum of 10 percent of the net developable area shall be set aside as public open space, after subtracting street and alley rights-of-way. Public open space shall be designed in compliance with Section #D.040 (Public Open Space). One or more public open spaces may be used to meet the required area.

C. Required Mix of Building Types and Frontage Types

- (1) Where a zone requiring building types is mapped onto more than half of a new block, the WNP shall maintain a mix of at least two different building types within that block, using only the types allowed in the zone. Half-blocks adjoining existing development are exempt from this requirement.
- (2) Along each block face containing more than one building entrance, the WNP shall maintain a mix of at least two different private frontage types, using only the types allowed in the zone(s).

D. Allocation of Zones

- (1) The zone(s) identified on the palette of overlay Zone Map shall be replaced by one or more zones in compliance with this subsection.
- (2) The proposed zone(s) shall be selected only from the zones in Chapter 2 and shall be mapped on the proposed blocks and any existing blocks in the development.

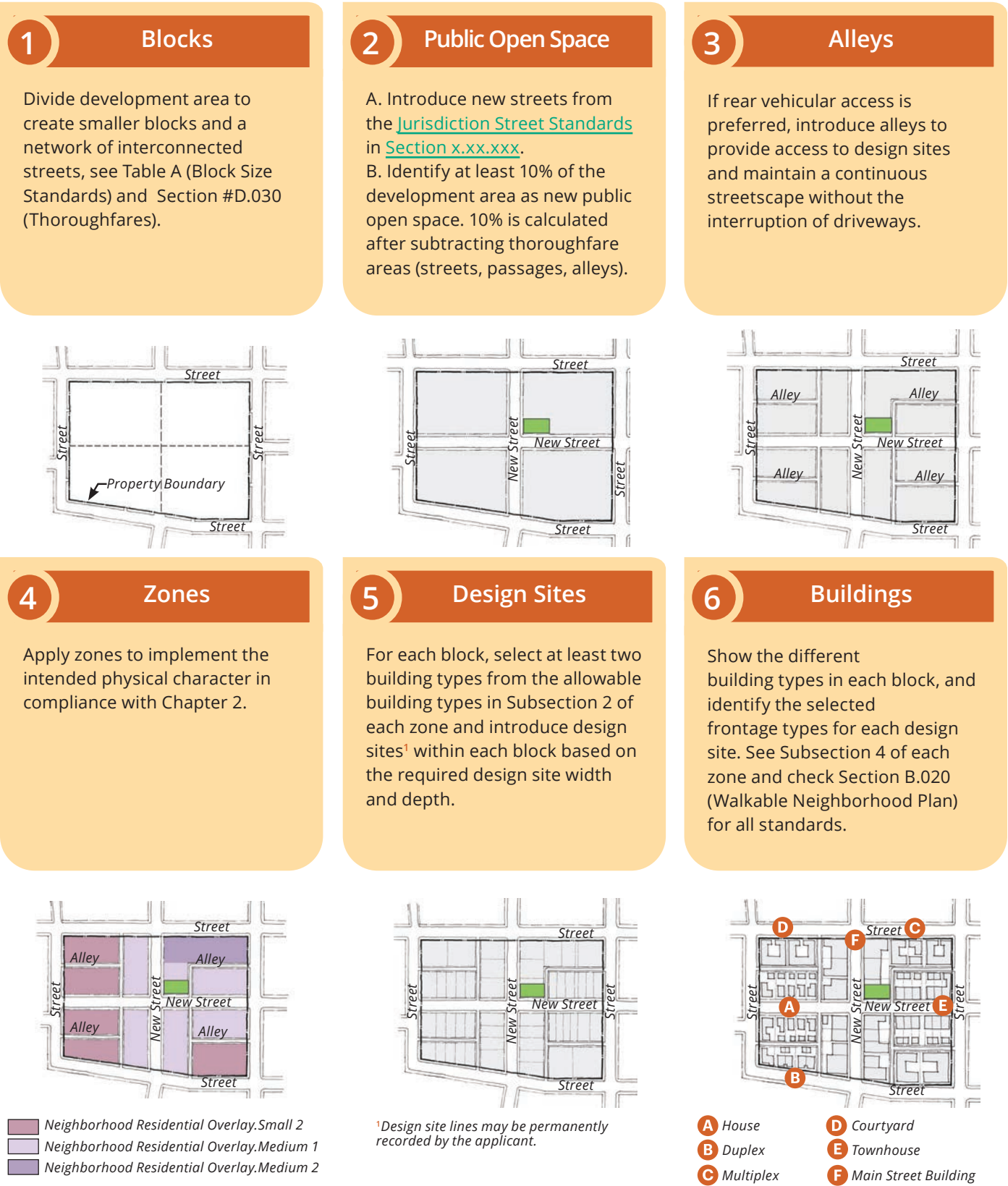
4. Stormwater Management. The most recent stormwater management standards, as adopted by the City, County, or State, must be implemented.

City to decide if numerical requirements for block lengths to be revised to match local block lengths.

Public Open Space Required:

Be sure to calculate the required amount of public open space AFTER thoroughfare areas (public or private) have been applied to the development area and then subtract the area of all thoroughfare areas (public or private) from the total development area. Also, when finalizing the minimum amount of public open space required, consider amounts beginning at 10% to identify the amount that still provides public open space while maintaining market feasibility for the project.

Figure #C.020.2: Walkable Neighborhood Plan Design Process Overview for Large Sites



Chapter #D: Streetscapes and Public Open Spaces

Sections:

#D.010	Purpose
#D.020	Public Frontage
#D.030	Thoroughfares
#D.040	Public Open Spaces

#D.010 Purpose

This Chapter establishes standards to create new or support existing walkable neighborhoods through pedestrian-oriented thoroughfares and public space.

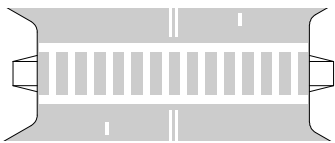
#D.020 Public Frontage

1. **Intent.** Public frontage types provide a coordinated approach to design standards for the area between each design site's private frontage(s) and the adjoining right-of-way or private driveway easement. Public frontage types consist of planters, walkways, curbs, planters, planting and lighting.
2. **Required Improvements.** The public frontage along the design site(s) shall be improved per Table A (Required Improvements) and the development scenario that applies to the project.

City to decide if changes needed to when certain improvements are required or, if additional requirements are needed.

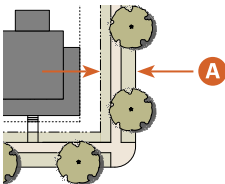
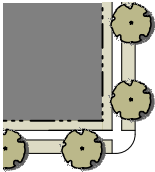
Required Improvements	Development Scenario			
	Infill Design Site on Existing Block	Two or More Design Sites on Existing Block	More Than Half of Existing Block	New Block(s)
	Development consists of one design site.	Development consists of two or more design sites that are less than half of the block face.	Development consists of two or more design sites that are more than half of the block face.	Development creates one or more new blocks.
a. Sidewalk. Add missing segment(s) along abutting front and/or side street.	R	R	R	R
b. Sidewalk. Repair uneven segments along abutting front and/or side street.	R	R	R	N/A
c. Street trees. Add street trees along abutting front and/or side street where there is adequate room to also maintain sufficient width for traffic lanes, pedestrian sidewalks, and bicycle facilities.	R	R	R	R
d. Crosswalk improvements. Add crosswalk as required by local public works standards.	X	X	X	R [Including adjacent and new intersection(s)]
e. Bicycle facilities. Add bicycle facilities.	X	X	R	R [Including bike lanes]
f. Curb and Gutter. Replace broken and damaged curb and gutter along abutting front and/or side street.	R	R	R	N/A
Key R = Required X = Not Required				

- 3. **Design Standards for Public Frontages.** Public frontages shall be designed and maintained in compliance with the following standards:
 - A. The required elements are identified in and shall be configured according to Table B (New Public Frontage) and in compliance with [\(City's Thoroughfare Standards\)](#).
- 4. Pedestrian Crossings
 - A. **Curb Ramps.** Perpendicular corner curb ramps with a separate ramp installed in each direction are required.
 - B. **Crosswalks.** Crosswalks shall be designed per the [City's](#) applicable standards and applicable State guidelines and standards.
 - (1) Standard Crosswalk.



- 5. **New Public Frontage.** New streets shall include raised curbs drained by inlets with sidewalks separated from vehicular lanes by individual or continuous planters. Landscaping consists of street trees of a single or alternating species aligned and spaced at 35' intervals on average.

Table #D.020.B: New Public Frontage

	
Assembly. The type and dimension of curbs, walkways, and planters.	
	
Total Width	A 11' min.
Note: See below for required elements of each assembly	
a. Curb. The detailing of the edge of the vehicular pavement, incorporating drainage.	
	
i. Type	Raised Curb
b. Walkway. The pavement dedicated exclusively to pedestrian activity.	
	
i. Type	Walkway
ii. Width	6' min.
Note: Placement of curb ramps shall match the desired path of pedestrian travel.	
c. Planter. The area that accommodates street trees and other landscaping.	
	
Arrangement	Regular
Types	Planting Strips along curb edge and ROW edge
Width	5' min.

#D.030 Thoroughfares

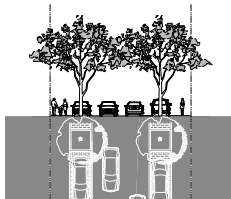
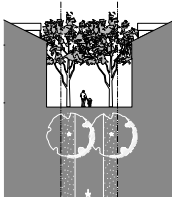
1. Thoroughfare(s) and/or public open space(s) are to be applied to create walkable neighborhoods with additional routes for vehicular, bicycle, and pedestrian circulation.
 - A. Thoroughfares that pass from one zone to another are required to transition in their streetscape along the thoroughfare's edges. For example, while a thoroughfare within a more intense zone (e.g., NRO.M2) with retail shops may have wide sidewalks with trees in grates, it shall be designed to transition to a narrower sidewalk with a planting strip within a less intense zone (e.g., NRO.S1) with lower intensity residential building types.
 - B. The proposed network shall connect to the existing network through pedestrian or multimodal connections. New thoroughfares shall provide connecting pedestrian and bicycle routes to all adjacent public, non-limited-access ROWs and dead-end streets.
 - C. The network can be privately owned but shall be accessible by the general public.
2. Any necessary traffic control devices on vehicular thoroughfares (e.g., signage, pavement markings, etc.) shall conform to [City's](#) standards.
3. All thoroughfares shall be compliant with the Americans with Disabilities Act.
4. **Alleys**
 - A. Vehicular access to parking may be accommodated through private rear alleys. Alleys may also serve as routes for waste collection and fire department apparatus access roads, in compliance with the applicable standards.
 - B. Design sites adjoining an alley at least 20 feet wide along the rear design site line may be reduced in depth by a distance equal to the width of the alley. Rear setbacks may be reduced as allowed by Table #E2.030.A (Adjustments to Standards for Lots Less Than 10% Slope) and Table #E2.030.B (Adjustments to Standards for Lots Over 10% Slope). Front setbacks shall not be reduced.
5. Thoroughfares are intended to generate one contiguous pedestrian network throughout the development site and adjacent public rights of way.
 - A. Design sites that do not front onto this pedestrian network are not permitted.
 - B. The pedestrian network shall be composed of sidewalks (6' min. width), thoroughfares as provided in this Section, and/or public open spaces as provided in Section #C.040.
 - C. The pedestrian network shall incorporate ADA accessible crosswalk(s) where pedestrian paths intersect vehicular travel lanes.
6. **Pavement Standards**
 - A. Pavement design for travel lanes and emergency vehicle access lanes within thoroughfare types shall be prepared by a geotechnical engineer, with a minimum pavement thickness of 4 inches over 6-inch Class II Aggregate Base.
 - B. Curb, gutter, and sidewalk shall use a City approved plain cement concrete mix design as used for public streets.

Thoroughfares.

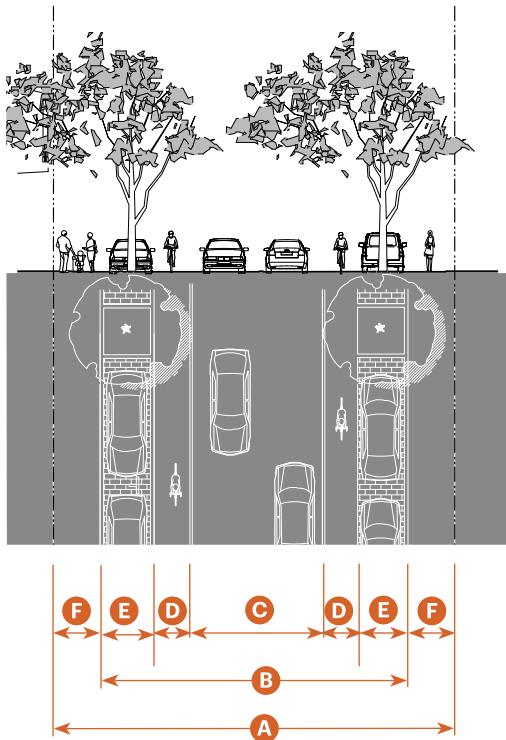
City to decide if changes are need to the proposed thoroughfares or if additional thoroughfares are to be added. When changing the numerical standards, consideration should be given to the type of thoroughfare and where it is proposed instead of changing a thoroughfare regardless of location.

Table #D.030.A: Thoroughfare Overview

This Table provides an overview of the allowed thoroughfare types for new neighborhoods or retrofits of existing thoroughfares.

Thoroughfare Type		ROW
	Neighborhood Street, Parallel Parking with Tree Wells. The design consists of two travel lanes, two bike lanes, on-street parallel parking alternating with tree wells, and 6-foot sidewalks. See C.030.7	57' - 67'
	Passage. The design consists of one shared pedestrian path with landscaping in containers and/or planters. See C.030.8	26'-36'

7. Neighborhood Street, Parallel Parking with Tree Wells



A. Application

Local	
Movement Type	Slow
Design Speed	20-25 mph

B. Overall Widths

Right-of-Way (ROW) Width	57' - 67'	A
Curb-to-Curb Width	45'	B

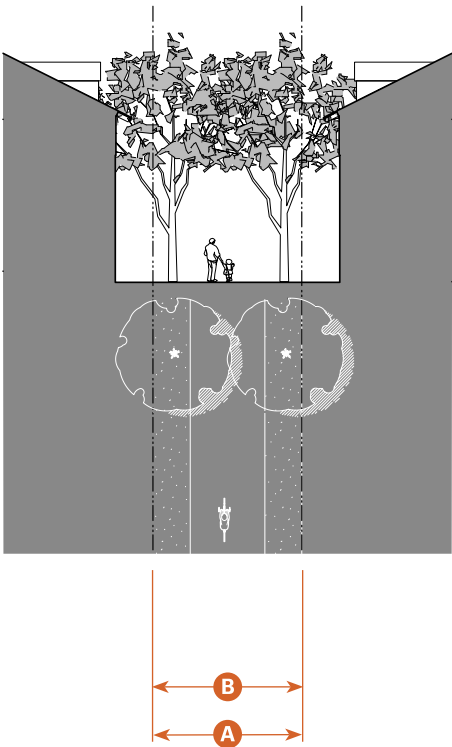
C. Lane Assembly

Traffic Lanes	2 @ 10'	C
Bicycle Lanes	2 @ 4'	D
Parking Lanes	2 @ 8.5', marked	E
Medians	None	

D. Public Frontage Assembly

Drainage Collection Type	Valley gutter or sheet flow	
Planter Type	5' x 6' planter at 50' o.c.	
Landscape Type	Trees at 50' o.c. avg.	
Trees may be located		
- In the parking lane		
- In the parkway with continuous landscaping		
- In tree wells in the parkway		
Lighting Type	Post or column	
Walkway Type	Min. 6' sidewalk	F
Curb Type	Rolled or flush	
Curb Radius	10' - 15'	

8. Passage



A. Application

Local	
Movement Type	Pedestrian, Bicycle, Emergency Vehicle Access ¹

B. Overall Widths

Right-of-Way (ROW) Width	26' min.; 36' max.	A
Pavement Width	Variable ¹ ; flush	B

C. Lane Assembly

Traffic Lanes	None
Pedestrian/Bike Path	10' min., unmarked
Emergency Vehicle Access Route ¹	26' min.
Parking Lanes	None
Medians	None

¹ Where the passage is required or intended to allow emergency vehicle access, paving assembly and clear width shall meet the applicable standards.

D. Public Frontage Assembly

Design sites fronting onto a Passage shall apply the side street building setback standards of the applicable zone in place of the front building setback standards.

Drainage Collection Type	None
Planter Type	Raised
Landscape Type	Potted Plants, Planters
Lighting Type	Pipe, post, or column
Walkway Type	Multipurpose path
Curb Type	Flush

#D.040 Public Open Spaces

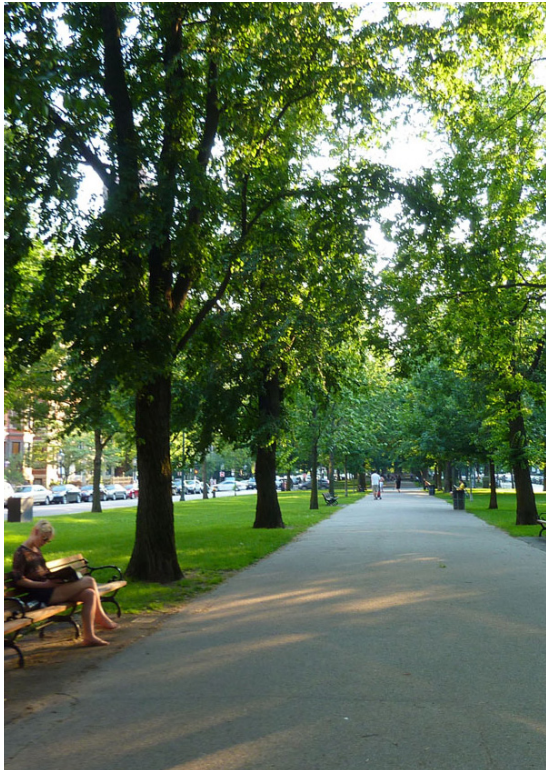
- 1. The WNP shall identify open spaces and public space types in compliance with the following standards and the standards of Table A (Public Open Space Types Overview).
- 2. When hillsides are within the development, the hillside ridge(s) shall be the location for public open space.
- 3. Required public open space identified on the WNP may be adjusted from its identified location by up to 100 feet in any direction.
- 4. Public access and visibility is required along public parks, natural open spaces, and public uses, including creeks and drainages and stormwater management areas, and shall be fronted by:
 - A. Single-loaded frontage streets (those with development on one side and open space on the other);
 - B. Bike and pedestrian paths; or
 - C. Other methods of frontage that provide similar access and visibility to the open space allowed in the zone. Such access may be provided through public easements or other similar methods.
- 5. **Amount of Public Open Space Required.** As required by Subsection #B.020.3.B, development of design sites are required to set aside a minimum area of the design site as public open space. One or more public open spaces may be used to meet the required area.
- 6. **Building Frontage Along or Adjacent to a Public Open Space.** The façades on building design sites attached to or across a street from a public open space shall be designed as a "front" on to the public open space, in compliance with Subsection 5 and Subsection 8 of the overlay zone.
- 7. **Public Open Space Types Overview.** This Subsection identifies the allowed public open space types and standards for improvements to existing public open spaces and for construction of new public open spaces. For each public open space type, Subsection 1 and Subsection 3 are regulatory, and Subsection 2 and Subsection 4 are non-regulatory. Allowed public open space types are identified in Table A (Public Open Space Types Overview).

Table D.040.A: Public Open Space Types Overview					
	Specific Standards	Zones			
		NRO.S1	NRO.S2	NRO.M1	NRO.M2
Greenway	#C.040.8	P	P	P	P
Green	#C.040.9	P	P	P	P
Plaza	#C.040.10	X	X	P	P
Playground	#C.040.11	P	P	P	P
Passage	#C.040.12	P	P	P	P
Key P = Allowed X = Not Allowed					

8. Greenway

Photos.

City to decide if photo(s) to be replaced with other example(s) of the type.



Standards.

City to decide if standards to be revised or replaced. Consideration should be given to maintaining neighborhood-scaled spaces instead of regional-scaled spaces.

1. Description	
A multiple-block long linear space for community gathering and strolling for nearby residents and employees, defined by a tree-lined street on at least one side, sometimes forming a one-way couplet on its flanks and by the fronting buildings across the street. Greenways serve an important role as a green connector between destinations.	
2. General Character	
Formal or informal dominated by landscaping and trees with integral stormwater management capacity	
Hardscape path	
Spatially defined by tree-lined streets and adjacent buildings	
3. Size and Location	
Size	2 continuous blocks in length, min.
Width	50' min.
Shall front at least one street	
4. Typical Uses	
Passive recreation	
Walking/running	

9. Green



1. Description
A large space available for unstructured and limited amounts of structured recreation.
2. General Character
Formal or informal with integral stormwater management capacity
Primarily planted areas with paths to and between recreation areas and public buildings
Spatially defined by tree-lined streets and adjacent buildings
3. Size and Location
Size100' x 100' min.
Street required on at least one side of the Green.
Façades on design sites attached to or across a street shall "front" on to the Green.
4. Typical Uses
Uses as allowed by the Zone

Photos.
City to decide if photo(s) to be replaced with other example(s) of the type.

Standards.
City to decide if standards to be revised or replaced. Consideration should be given to maintaining neighborhood-scaled spaces instead of regional-scaled spaces.

Photos.

City to decide if photo(s) to be replaced with other example(s) of the type.

10. Plaza



Standards.

City to decide if standards to be revised or replaced. Consideration should be given to maintaining neighborhood-scaled spaces instead of regional-scaled spaces.

1. Description

A community-wide focal point primarily for public purposes and commercial activities.

2. General Character

Formal, urban

Hardscaped and planted areas in formal patterns

Spatially defined by buildings and tree-lined streets

3. Size and Location

Size 50' x 50' min.

Street required one of the Plaza's sides.

Façades on design sites attached to or across a street shall "front" on to the Plaza.

4. Typical Uses

Uses as allowed by the Zone

11. Playground



1. Description

A small-scale space designed and equipped for the recreation of children. These spaces serve as quiet, places protected from the street and in locations where children do not have to cross any major streets. An open shelter, play structure(s), or interactive art and fountain(s) may be included. Playgrounds may be included within all other public space types except Community Garden.

2. General Character

- Play structure(s), interactive art, and/or fountain(s)
- Shade and seating provided
- May be fenced
- Spatially defined by trees

3. Size and Location

Size 40' x 60' min.

4. Typical Uses

Uses as allowed by the Zone

Photos.

City to decide if photo(s) to be replaced with other example(s) of the type.

Standards.

City to decide if standards to be revised or replaced. Consideration should be given to maintaining neighborhood-scaled spaces instead of regional-scaled spaces.

12. Passage

Photos.

City to decide if photo(s) to be replaced with other example(s) of the type.



Standards.

City to decide if standards to be revised or replaced. Consideration should be given to maintaining neighborhood-scaled spaces instead of regional-scaled spaces.

1. Description

A pedestrian pathway that extends from the public sidewalk into a public space and/or across the block to another public sidewalk. The pathway is lined by residential ground floors and pedestrian entries as required by the zone.

2. General Character

Formal, urban

No accessory structure(s)

Primarily hardscape with landscape accents

Spatially defined by building frontages

Trees and shrubs in containers and/or planters

3. Size and Location

Size 20' min. clear width between or through buildings

Ground floor façades shall be in compliance with façade zone in Subsection 3 and frontages allowed in Subsection 4 of the zone.

Dooryards, porches, patios, and sidewalk dining shall not encroach into the minimum required width.

4. Typical Uses

Public and commercial activity as allowed by the zone

Ground floor residential as allowed by the zone

Chapter #E2: Administration

Sections:

#E2.010	Purpose
#E2.020	Administrative Review
#E2.030	Adjustments to Standards

#E2.010 Purpose

This Chapter establishes procedures for by-right review and approval of Middle housing applications.

#E2.020 Administrative Review

1. **Intent.** The administrative (by-right) review and approval process in this Chapter is intended to streamline the design, approval, and production of Middle Housing. This section is not intended to be used for dividing an existing lot or subdividing new lots.
2. **Applicability.** The provisions of this Chapter apply only to Middle Housing projects. For the purposes of this Chapter, a Middle Housing project is any project that proposes residential units in any of the following Middle Housing forms: Duplex, Cottage Housing, Triplex/Fourplex, Townhouse, Courtyard, and Multiplex as regulated by this Title.
3. **Middle Housing (MH) Administrative Review.** The Middle Housing review process is a development permit process whereby an application is reviewed, approved, or denied by the planning director or the planning director’s designee based solely on objective design and development standards without a public meeting or hearing, unless such review is otherwise required by state or federal law, or the structure is a designated landmark or within a designated historic district established under a local preservation ordinance.

Code Review Guide

The following graphic is intended as a summary guide. Please refer to the [City's](#) permit procedures for all necessary information.

1 Design your Walkable Neighborhood Plan (WNP)		
If your site is over 5 acres, prepare a Walkable Neighborhood Plan	Comply with the standards	Section #B.020 (Walkable Neighborhood Plan)
If your site is less than 5 acres, step 1 does not apply		
2 Determine your Maximum Zoning Envelope		
Identify your zone , see Chapter 2 (Zones)	a. Comply with building placement standards	Subsection 2 of the zone
	b. Comply with building footprint standards	Subsection 3 of the zone
	c. Select your private frontage type	Subsection 4 of the zone
	d. Comply with building form and height standards	Subsection 5 of the zone
	e. Comply with parking standards	Subsection 6 of the zone
	f. If multiple buildings on a site, comply with the standards	Section 2.070
3 Connect Ground Floor to Adjacent Streetscape		
Apply your private frontage type(s) , see Chapter #A.1 (Frontage Types)	Based on your selected private frontage type(s), comply with the standards	Chapter #A.1 (Frontage Types)
4 Proceed to Approval Process		
If adjustments are proposed , see Section #D.030 (Adjustments to Standards)	Meet the required findings to be eligible for the adjustment to the standard(s)	Section #D.030 (Adjustments to Standards)
Identify your approval procedure , see Chapter D (Administration)	Comply with the procedure standards	Section D.020 (Administrative Review)

#E2.030 Adjustments to Standards

- 1. **Purpose.** This Section is intended to allow for minor deviations from certain standards for specific situations that make compliance not possible because of the prescriptive nature of the standards.
- 2. **Applicability.** This Section applies to Middle housing developments. The [Director, or Designee](#), may grant an Adjustment for only the standards identified as follows:
 - A. Lots less than 10% slope. See Table A (Adjustments to Standards for Lots Less Than 10% Slope).
 - B. Lots over 10% slope. See Table B (Adjustments to Standards for Lots Over 10% Slope).
- 3. **Procedures.** Adjustment requests shall be reviewed and processed as follows:
 - A. If an Adjustment is requested that exceeds the allowed administrative relief in Table A or Table B, the adjustment will be processed only up to the amount identified in the relevant Table.
 - B. Adjustment requests involving any of the following features (i.e., historic building/feature, tree, rock outcrop, and/or utility infrastructure) shall include existing conditions documentation identifying the feature(s).
 - C. Depending on the unique characteristics and dimensions on an individual parcel, it is possible that the full development potential of the zone may not be achievable even after applying the allowed adjustments in this Section.

NOTE to City:

Depending on which chapters are selected from the Toolkit, some of the references in the following pages may need to be amended.

Please review and revise the required findings and the specific amounts of increase or decrease in the standards according to your specific needs.

Table #E2.030.A: Adjustments to Standards for Lots with Less than 10% Slope			
Administrative Relief Type	Required Findings (all that apply)	Allowed Administrative Relief	Reference to Standard
1. Existing Lot Dimensions			
a. Depth or Width Decrease in the minimum required	i. An existing historic building/feature, tree, rock outcrop, and/or utility infrastructure prevents compliance with the standard.	Up to 10% of the standard	Subsection 2 of the zone
	ii. All required on-site parking is subterranean.	Up to the amount needed for the required rear building setback to be met	
2. Building Setbacks			
a. Front¹, Side Street¹, Side or Rear Increase or decrease in the minimum to maximum required setback for a primary building and/or wings	i. An existing historic building/feature, tree, rock outcrop, and/or utility infrastructure prevents compliance with the standard.	Front, Rear, or Side Street: up to 25% of the standard;	Subsection 3 of the zone
	ii. The existing lot is 80' or less in depth, preventing compliance with the rear setback standard.	Side Street: up to 25% of the standard or 3' min.	
b. Façade within Façade Zone¹ Reduction of the minimum amount of façade required within or abutting the façade zone	i. An existing historic building/feature, tree, rock outcrop, and/or utility infrastructure prevents compliance with the standard.	Up to 10% of the standard The horizontal unbuilt area resulting from this adjustment is landscaped per the standards in Section 3.030 (Landscaping and Lighting).	Subsection 3 of the zone

¹ Standards for private frontage apply [See Chapter #A2 (Frontage Types)], and any adjustment shall not preclude the application of a private frontage type.

Table #E2.030.A: Adjustments to Standards for Lots with Less than 10% Slope (Continued)			
Administrative Relief Type	Required Findings (all that apply)	Allowed Administrative Relief	Reference to Standard
3. Building Footprint			
a. Size of Main Body¹ and/or Wing(s) Increase in the allowed width or length	i. An existing historic building/feature, tree, rock outcrop, and/or utility infrastructure prevents full application of the standard.	Up to 10% of the standard	Subsection 3 of the building type
	ii. The wing(s) is one-story less in height than the main body.		
4. Parking Location			
a. Front or Side Street Setback Reduction in the required parking setback	i. An existing historic building/feature, tree, rock outcrop, and/or utility infrastructure prevents compliance with the standard.	Up to 10% of the standard when the required setback is 20' or more.	Subsection 6 of the zone
	ii. The driveway is in compliance with the zone standards.	Up to 20% of the standard when the required setback is less than 20'.	
		iii. The ground floor space remains habitable in compliance with the zone standards, as allowed to be adjusted by this Section.	

Please review and revise the required findings and the specific amounts of increase or decrease in the standards according to your specific needs.

Please review and revise the required findings and the specific amounts of increase or decrease in the standards according to your specific needs.

Table #E2.030.B: Adjustments to Standards for Lots Over 10% Slope			
Administrative Relief Type	Required Findings (all that apply)	Allowed Administrative Relief	Reference to Standard
1. Design Site Dimensions			
a. Depth Decrease in the minimum required	i. Existing slope exceeds an average 15% grade from the front to the rear of the lot.	20% max. of the standard	Subsection 2 of the zone
b. Width Decrease in the minimum required	i. Existing slope exceeds an average 15% grade from the front to the rear of the lot.	10% max. of the standard	Subsection 2 of the zone
2. Building Setbacks			
a. Front¹, Side Street¹, Side or Rear Decrease in minimum or increase in maximum required setback areas for primary building and/or wing(s)	i. Existing slope exceeds 15% grade within at least the first 30' of lot depth.	Reduction in the minimum setback to within 5' of the lot line. Where side street setback is 5' minimum, reduction in the minimum setback to within 3' of the lot line. Increase in maximum by up to 50% of the standard	Subsection 2 of the zone
	ii. An existing historic building/feature, tree, rock outcrop, and/or utility infrastructure prevents compliance with the standard.		
	iii. The existing lot depth is less than 80'.		
3. Building Footprint			
a. Size of Main Body¹ or Wing(s) Increase in the allowed width or length	i. Existing slope exceeds 15% grade for at least 50% of the lot width or the first 30' of the lot depth. ii. The building is in compliance with the setbacks of the zone or as allowed to be adjusted by this Section.	Up to 25% of the standard	Subsection 3 of the building type

¹ Standards for private frontage apply [See Chapter #A2 (Frontage Types)], and any adjustment shall not preclude the application of a private frontage type.

Table #E2.030.B: Adjustments to Standards for Lots Over 10% Slope (Continued)			
Administrative Relief Type	Required Findings (all that apply)	Allowed Administrative Relief	Reference to Standard
4. Site Grading			
a. Retaining Wall (Height) Increase in maximum retaining wall height or length	i. Existing slope exceeds an average 15% grade from the front to the rear of the lot.	Increase in retaining wall height up to 12' along rear and/or side lot line(s); Increase in retaining wall height up to 20' within the building footprint	Subsection 03.050
	ii. The retaining wall or series of retaining walls cannot be seen from the adjacent public sidewalk or adjacent property.		
	iii. The exposed height of the retaining wall on abutting parcels is less than 2'.		
	iv. Retaining walls not within the building footprint are less than 50' in total length along any lot line.		
5. Block Face and Perimeter			
a. Increase in maximum length of new or modified block	i. Existing slope along at least one side of the block exceeds 15% grade, resulting in new street(s) that exceed maximum allowed grade, preventing compliance with the standards.	Up to 25% of the standard	Table #C.020.A (Block Size Standards)
	ii. The subject block(s) includes a Passage in compliance with Subsection #C.030.8 (Passage).		
	iii. The block(s) is in compliance with Section #C.030 (Thoroughfare Standards).		

Please review and revise the required findings and the specific amounts of increase or decrease in the standards according to your specific needs.

¹ Standards for private frontage apply [See Chapter #A2 (Frontage Types)], and any adjustment shall not preclude the application of a private frontage type.

Please review and revise the required findings and the specific amounts of increase or decrease in the standards according to your specific needs.

6. Parking Location Setbacks			
a. Front or Side Street Reduction in a required parking setback.	The existing slope exceeds 15% grade for at least 50% of the lot width or for the first 30' of the lot. One or more of the following techniques are applied, as allowed by this Section:		
	i. Surface: Parking is uncovered and located between the building and the street due to existing lot depth that is less than 80' and existing lot width is less than 100'.	Front Setback: The parking location setback standards do not apply. Up to 75% of the lot width is allowed to be used for parking for a maximum depth of one parking space.	Subsection 6 of the zone; Subsection 3 of Chapter 2
	ii. Podium: Parking under primary building is enclosed and access is only from one side of the lot, the lot is 150' or less in width. Habitable space, in compliance with Subsection 5 of the zone as allowed to be reduced by this Section, is between the front of the building and the parking spaces. The parking garage access is not greater than 10' in width.	Front Setback: Reduction to 18' behind the primary building façade. Side Street Setback: Reduction to 5' behind the primary building façade at least 18' from the front of the building.	

Chapter #F2:Definitions & Measurements

Sections:

#F2.010	Purpose
#F2.020	Definitions
#F2.030	Measurements

#F2.010 Purpose

This Chapter provides definitions for specialized terms and phrases used in this Toolkit. All other applicable definitions in [City Zoning Code](#) apply.

#F2.020 Definitions

A. Definitions

- Abutting.** Having a common property line or district boundary, or separated by a private or public street or easement.
- Access or Service Drive.** A public or private way of paving or right-of-way of not more than 30 feet affording means of access to property.
- Accessory Structure (syn. Accessory Building).** A structure physically detached from, secondary and incidental to, and commonly associated with a primary structure or use on the same site. Accessory structures normally associated with a residential use property include, but are not limited to: garages (unenclosed or enclosed) for the storage of automobiles (including incidental restoration and repair), personal recreational vehicles, and other personal property; studios; workshops; greenhouses (noncommercial); enclosed cabanas and pool houses; and storage sheds.
- Adjacent.** Sharing a common lot line, or having lot lines separated only by an alley.
- Alley.** A public or private way to be used primarily for vehicular access to the back or side of a lot of real property that otherwise abuts a street.
- Architectural Feature.** Exterior building element intended to provide ornamentation to the building massing including, but not limited to: eaves, cornices, bay windows, window and door surrounds, light fixtures, canopies, and balconies.
- Attached Building or Structure.** Any building or structure which is structurally a part of or has a common wall and/or continuous roof with a primary building or structure, except where such connection is a breezeway or walkway incidental to and not a necessary part of the construction of the primary building.
- Average Slope.** The result of dividing the length of a slope by the difference in elevation at the top and bottom of the slope. See Subsection #F.12.030.1.C.
- Awning.** A roof or cover which projects from a wall of a building over a window or door, made of canvas, aluminum, or similar material, which may be fixed in place or be retractable.

Location of Definitions.

City to decide if this content stays in this document or is integrated into the City’s definitions in its municipal code spaces.

B. Definitions

Basement. A story whose floor is more than 12 inches, but not more than half of its story height below the average level of the adjoining finished grade (as distinguished from a “cellar,” which is a story more than one-half below such level). A basement, when used as a dwelling, shall not be counted as a story for purposes of height measurement.

Bay. Any division of a building between vertical lines or planes, especially the entire space included between two adjacent supports. See Subsection #F.12.030.4 for measurement method.

Bay Window. An architectural projection from the building cantilevered from the façade, consisting of one or more stories in height, containing at least 60 percent glass area. Window opening that includes an opening on each side.

Block. An area of land separated from other areas by adjacent streets, railroads, rights-of-way, public areas, or the subdivision boundary.

Block Face. The aggregate of all the building façades on one side of a block. The block face provides the context for establishing architectural harmony.

Block Length. The horizontal distance from the right-of-way on one end of the block to the right-of-way on the other end along the same street.

Block Perimeter. The aggregate of all sides of a block bounded by the abutting rights-of-way.

Block-Scale, Building. A building that is individually as large as a block or individual buildings collectively arranged along a street to form a continuous façade as long as most or all of a block.

Building. A structure consisting of one or more foundations, floors, walls, and roofs that surround an interior space, and may include exterior appurtenant structures including, but not limited to, porches and decks.

Buildable Area. The horizontal area in which a building is allowed to be constructed.

Building Elevation. The exterior wall of a building not adjacent to a public right-of-way, the front or side along a private street, or public open space.

Building Entrance. A point of pedestrian ingress and egress to the front of a building along the sidewalk of the street immediately adjacent to the building.

Building, Existing. See "Structure, Existing."

Building Façade. The exterior wall of a building adjacent to a street, the front or side along a private street, or public open space.

1. **Building Façade, Front.** The exterior wall of a building adjacent to a street or public open space.
2. **Building Façade, Side Street.** The exterior wall of a building adjacent to a side street.
3. **Building Façade, Interior Side.** The exterior wall of a building adjacent to the interior lot line(s).
4. **Building Façade, Rear.** The exterior wall of a building opposite the front.

Building Form. The overall shape and dimensions of a building.

Building Frontage. The façade(s) along the front and side street of the lot.

Building Frontage, Principal. The façade along the front of the lot, typically the narrower of sides and identified by an address.

Building, Primary. The building that serves as the focal point for all activities related to the principal use of the lot.

Building, Setback. See "Setback, Building."

By-Right, Approval. Approval by administrative staff of certain improvements or developments not requiring further review and in compliance with all applicable standards.

C. Definitions

Chamfered. A transitional edge between two faces of an object. Sometimes defined as a form of bevel, it is often created at a 45° angle between two adjoining right-angled faces.

Chamfered Façade Corner. An external wall of a building joining two perpendicular exterior walls, typically at a symmetrical, 45 degree angle creating a beveled edge to the building rather than a 90 degree corner.

Public Open Space. An outdoor area dedicated for public gathering and civic activities. See Section #D.10.040 (General to Public Open Space).

Corner Entry. An entrance located on the corner of a building.

Cornice. The crown molding of a building or element.

Courtyard (syn. Court). An unroofed area that is completely or partially enclosed by walls or buildings on at least two sides and often shared by multiple units, not including off-street parking. See Subsection #F.12.030.3.A.(4) for measurement method.

Coverage

1. **Coverage, Accessory Structures.** The sum of the footprint area of all structures on a lot.
2. **Coverage, Building.** The floor area of the largest story of a building divided by the total lot area.
3. **Coverage, Lot.** The portion of the lot expressed as a percentage that is covered in buildings or other roofed structures (e.g. porches, covered parking).

Crawl Space. A shallow unfinished uninhabitable space beneath the floor or under the roof of a building, that provides access to utility, structural, and other building components not readily accessible from the habitable portions of the building.

D. Definitions

Depth, Ground-Floor Space. The distance from the street-facing façade to the rear interior wall of the ground-floor space available to an allowed use.

Design Site. A portion of land within a parcel, delineated from other design sites and/or parcels to accommodate no more than one building type. The main purpose of a design site is to allow a parcel large enough to contain more than one building type to contain multiple building types while not requiring the legal subdivision of the parcel into additional parcels.

Design Site, Corner. A design site located at the intersection of two or more streets, where they intersect at an interior angle of not more than 175 degrees. If the intersection angle is more than 175 degrees, the design site is considered an interior design site.

Design Site, Flag. A design site not meeting minimum design site frontage standards and where access to a public or private street is provided by means of a long, narrow driveway between abutting design sites.

Design Site, Interior. A design site abutting only one street.

Design Site, Through. A design site with two or more frontage lines that do not intersect.

Design Site Area. The total square footage or acreage of horizontal area included within the design site lines.

Design Site Coverage. See "Coverage."

Design Site Depth. The horizontal distance between the front design site line and rear design site line of a design site measured perpendicular to the front design site line.

Design Site Line. The perimeter and geometry of a design site demarcating one design site from another.

1. **Design Site Line, Front.** One of the following:
 - a. The frontage line in the case of a design site having a single frontage line;
 - b. The shortest frontage line in the case of a corner design site with two frontage lines, neither of which are adjacent to a thoroughfare or a design site with independent frontage;
 - c. The frontage line generally perceived to be the front design site line in the case of a corner design site with three or more frontage lines, none of which are adjacent to a thoroughfare or a design site with independent frontage;
 - d. The frontage line adjacent to a thoroughfare in the case of a corner design site with two or more frontage lines, one of which is adjacent to a thoroughfare;
 - e. The frontage line adjacent to a design site with independent frontage in the case of a corner design site with two or more frontage lines, one of which is adjacent to a design site with independent frontage; or
 - f. The frontage line adjacent to the front design site line of an adjacent design site in the case of a through design site.
2. **Design Site Line, Rear.** That design site line opposite the front design site line.
3. **Design Site Line, Side.** Design site lines connecting the front and rear design site lines.

Design Site Width. The horizontal distance between the design site lines measured perpendicular to the front design site line.

Detached. Separate or unconnected.

Development Site. The parcel(s) or portion(s) thereof on which proposed structures and improvements are to be constructed.

Director. Planning Director, Community Development Director or designee..

Distance Between Entries. The horizontal distance between entrances to a building or buildings, measured parallel to the façade.

Driveway. A vehicular lane within a lot, or shared between two lots, usually leading to a garage, other parking, or loading area.

Dwelling, Multiple. A building designed or used for three or more dwelling units.

Dwelling Unit. A room or group of internally connected rooms that have sleeping, cooking, eating, and sanitation facilities, but not more than one kitchen, which constitute an independent housekeeping unit, occupied by or intended for one household on a long-term basis.

Dwelling Unit, Stacked. A dwelling unit situated immediately above or below another dwelling unit.

E. Definitions

Eave. The edge of the roof that overhangs the face of the adjoining wall. The bottom of the eave can range from exposed rafters ("open eave") to a finished horizontal surface ("closed eave").

Elevated Ground Floor. A ground floor situated above the grade plane of the adjacent sidewalk.

Encroachment. Any architectural feature, structure, or structural element—including, but not limited to a fence, garden wall, porch, stoop, balcony, bay window, terrace, or deck—that breaks the plane of a vertical or horizontal regulatory limit by extending into a setback.

Entry. An opening, including, but not limited to, a door, passage, or gate, that allows access to a building.

1. **Entry, Primary.** The opening that allows access to a building directly from the sidewalk along the front façade.
2. **Entry, Service.** An entrance located toward or at the rear of the building intended for the delivery of goods and removal of refuse.

Existing Structure. For the purpose of defining an allowable space that can be converted to an accessory dwelling unit means within the four walls and roofline of any structure existing on or after Month, Year that can be made safely habitable in compliance with local building codes at the determination of the Building Official regardless of any noncompliance with this Toolkit.

F. Definitions

Façade. See "Building Façade."

Fence. A structure, made of wood, metal, masonry, or other material, typically used to screen, enclose, or divide open space for a setback or along a lot line.

Finish Level, Ground Floor. Height difference between the finished floor on the ground floor and the adjacent sidewalk. In the case of a terrace frontage that serves as the public right-of-way, the floor finish level is the height of the walk above the adjacent street. Standards for ground floor finish level for ground floor residential uses do not apply to ground floor lobbies and common areas in multi-unit buildings.

Floor Area. The sum of the gross areas of all stories of a building, measured from the exterior faces of the exterior walls. The floor area shall include any building that has a roof and is enclosed so as to provide shelter from the elements on three or more sides.

Floor Coverage. See "Coverage."

Footprint, Building. The outline of the area of ground covered by the foundations of a building or structure.

Freestanding Wall. A wall that is separate from a building and supported by independent means.

Front. See "Lot Line, Front."

Front Loaded. (Front Access). Lots that provide vehicular access from the front of the lot.

Frontage, Private. The area and/or building element (e.g. porch) between the building façade and the back of the sidewalk abutting a street (public or private) or public open space.

Frontage, Public. The area between the on-street parking and the back of the sidewalk.

Frontage Type. A physical element configured to connect the building façade to the back of the sidewalk abutting a street or public open space depending on the intended physical character of the zone.

G. Definitions

Gable. A vertical wall in the shape of a triangle formed between the cornice or eave and the ridge of the roof.

Glazing. Openings in a building in which glass is installed.

Grade. The finished ground level at any point along the exterior walls of a structure. Where walls are parallel to and within five feet of a sidewalk, alley or other public way, the level above ground shall be measured at the elevation of the sidewalk, alley or public way. Also see "Grade, Finished."

Grade, Finished. The final ground surface elevation after the completion of grading or other site preparation related to a proposed development that conforms to an approved Grading Permit or Building Permit. In cases where substantial fill is proposed, "finished grade" shall be established by the Director consistent with lots in the immediate vicinity and shall not be, nor have been artificially raised to gain additional building height. Also see "Grade."

Grade, Pre-Development. The grade of a lot prior to any site improvements related to the proposed development.

Grading. Earthwork performed to alter the natural contours of an area.

Ground Floor. The floor of a building located nearest to the level of the ground around the building.

Gross Floor Area. The total floor area inside the building envelope, including the external walls, but not including the roof.

H. Definitions

Habitable Space. The portion of a building that is suitable for human occupancy.

Half Story. See "Story".

Hardscape. Paving, decks, patios, and other hard, non-porous surfaces.

Height

1. **Height, Number of Stories.** The number of stories in a structure allowed above adjacent finished grade. See "Stories."
2. **Height, Overall.** The vertical distance between adjacent finished grade and the highest part of the structure directly above. See Subsection #F.12.030.3.A.(6) for measurement method.
3. **Height, Highest Eave/parapet.** The vertical distance between adjacent finished grade and the highest eave or parapet of the building. See Subsection #F.12.030.3.A.(6) for measurement method.

House-Scale Building. A small or medium Middle Housing building that is the size of a small-to-large house and detached from other buildings, typically ranging from 24 feet to as large as 80 feet overall.

I. Definitions

Improved. An area which has been paved or planted and is permanently maintained as such.

Improvement. The product of any modification to a site structure or building, not including maintenance or repairs.

Infill. The development of vacant land that was bypassed by earlier waves of development and is now largely surrounded by developed land.

J. Definitions

No specialized terms beginning with the letter J are defined at this time.

K. Definitions

No specialized terms beginning with the letter K are defined at this time.

L. Definitions

L-Shaped (syn. Ell). A horizontal form for the main body of a building or a massing composition, also referred to as an "Ell" which is an extension at a right angle to the length of a building.

Landing. A level area at the top or bottom of a staircase or between one flight of stairs and another.

Landscaping. Flowers, shrubs, trees, or other decorative material of natural origin.

Lintel. A horizontal architectural member spanning and usually carrying the load above an opening.

Living Area. The interior habitable area of a dwelling unit, including basements and attics, but not including garages or any accessory structure.

Lot (syn. Parcel). A portion of land separate from others and delineated or described as a single integral unit on a subdivision map or by other map approved in compliance with the Subdivision Map Act (§66410 et seq.).

M. Definitions

Main Body. The primary massing of a primary building. See Subsection #F.12.030.3.A.(1) for measurement method.

Main Façade. The front façade of a building.

Major. Having a greater size, scope, effect, characteristic, or quality relative to the other corresponding sizes, scopes, effects, characteristics, or qualities; or being the greater of two or more.

Massing. The overall shape or arrangement of the bulk or volume of a building and structures.

Minor. Having a lesser size, scope, effect, characteristic, or quality relative to the average size, scope, effect, characteristic, or qualities; or being the lesser of two or more.

Multi-Unit Building. A residential in which there exists three or more separate units with direct exterior access and in which there are appurtenant shared facilities. Distinguishing characteristics of a multi-tenant building or use may, but need not, include common ownership of the real property upon which the building or use is located, common wall construction, and multiple occupant use of a single structure.

N. Definitions

No specialized terms beginning with the letter N are defined at this time.

O. Definitions

Off-Street Parking. The area(s) located on a lot available for temporary storage of passenger vehicles, including a public or private parking lot where parking is the principal use of the property.

Open Space Easement. See "Scenic Easement or Open Space Easement."

P. Definitions

Parapet. A low wall along the edge of a roof or the portion of a wall that extends above the roof line.

Parcel (syn. Lot). A portion of land separate from others and delineated or described as a single integral unit on a subdivision map or by other map approved in compliance with the Subdivision Map Act (§66410 et seq.).

Planning Commission. The [City's](#) Planning Commission, or Planning Board.

Primary Building. See "Building, Primary."

Public Street. A street for which the right-of-way is owned by or offered for dedication to the public and accepted by the [City](#).

Q. Definitions

No specialized terms beginning with the letter Q are defined at this time.

R. Definitions

Rake. The sloped end portion of a roof. Rakes may be close to, or extend from the building to allow for an overhang. Roof rakes can be exposed or closed.

Rear. Opposite of front.

Rear-Loaded (syn. Rear Access). Vehicular access from the rear of the lot.

Recessed Entry. An entrance to a building that is set back from the façade of the building.

Review Authority. The individual or official [City](#) body ([the Community Development Director, Planning Commission, or City Council](#)) identified by this Toolkit as having the responsibility and authority to review, and approve or deny the permit applications described in Chapter 11 (Administration).

S. Definitions

Semi-subterranean parking. The parking area is up to four feet above the adjacent finished grade of the building and includes unit and/or building entries along front and side streets.

Setback. The distance by which a structure, parking area, or other development feature is separated from a lot line, other structure, or development feature

1. **Setback, Front.** An area extending across the full width of the lot between the front lot line and the primary structure.
2. **Setback, Rear.** An area extending the full width of the lot between a rear lot line and the primary structure.
3. **Setback, Side.** An area between a side lot line and the primary structure extending between the front and rear setback.

Setback, Building. The mandatory clear distance between a lot line and a building.

Setback, Parking. The mandatory clear distance between a lot line and parking.

Shared Parking. Any parking spaces assigned to more than one user, where different persons utilizing the spaces are unlikely to need the spaces at the same time of day.

Shared Yard. A portion of a development held in common and/or single ownership, not reserved for the exclusive use or benefit of an individual tenant or owner, and is available for use by all persons who reside or work in the building or on the lot. Excludes the following:

1. Required front setbacks;
2. Areas devoted to parking, driveways, and maneuvering areas;
3. Open space at grade less than 10 feet in its minimum dimension;

Sidewalk. A paved area along a street intended exclusively for pedestrian use and often installed between a street and lot frontages.

Site Plan. A base sheet that includes the basic information that will appear on all plans including, but not limited to, natural features, roads, buildings, or other structures to remain on-site.

Street, Front. Street located along the front lot line of a parcel.

Street, Side. Street located along a lot line of a parcel that is not along the front lot line.

Story. The portion of a building included between the surface of any floor and the surface of the next floor above it, or if there is no floor above, the space between the floor and the ceiling above. If the finished floor level directly above a basement or cellar is more than six feet above grade for more than 50 percent of the total perimeter, such basement or cellar shall be considered a story.

1. **Story, First.** The lowest story or the ground story of any building, the floor of which is not more than 12 inches below the average contact ground level at the exterior walls of the building.
2. **Story, Half (syn. Attic Story).** A conditioned space that rests primarily underneath the slope of the roof, usually having dormer windows. The half story is identified by the ".5" in the description of maximum height (e.g., 2.5). A half-story is considered a story when its top wall plates, on at least two opposite exterior walls, are four feet or more above the floor of such story.

Street. A public or permanent private thoroughfare which affords a primary means of access to lot(s).

1. **Street, Front.** Street located along the front lot line.
2. **Street, Side.** Street located along a lot line that is not the front lot line

Street Frontage. The lineal length of that portion of a lot abutting a street.

Street Frontage, Principal. The length of the property line of any one premise parallel to and along the public right-of-way which it borders and which is identified by an officially assigned street address.

Street Tree. A tree planted in open spaces, parkways, sidewalk areas, easements, streets, and rights-of-way.

Subterranean Parking. The parking area and parking spaces are located below the adjacent finished grade of the building.

T. Definitions

Tandem Parking. A parking space deep enough to allow two cars to park, one behind the other.

Thoroughfare. A way for use by vehicular, pedestrian, and bicycle traffic that provides access to lots and open spaces, and that incorporates vehicular lanes and public frontages.

Transit Stop. A location where buses stop to load and unload passengers. A transit stop may or may not include a shelter or a pullout.

Transom. Refers to a window; a window above a door or other window built on and commonly hinged to a transom

U. Definitions

Understory. The smaller trees and shrubs below the canopy of large trees.

Unit. See "Dwelling Unit."

Upper Floor. A floor in a building containing habitable space that is located above the ground floor.

V. Definitions

Visitability. A basic level of accessibility that enables persons with disabilities to visit others in their dwellings by providing at least one accessible means of egress/ingress for each residential unit.

W. Definitions

Walkway. A paved way located on one or more lots, used for pedestrian traffic, and used exclusively by the lot owner(s), their guests, and invitees.

Water Table, Architectural Feature. A horizontal projecting string-course of masonry, molding, or a ledge placed so as to divert rainwater from a building.

Width-to-Height Ratio. The ratio of the horizontal size of a space measured perpendicularly to the vertical height of a building. See #F2.030.2.A(5) for measurement method.

Wing. A structure of at least five feet in depth physically attached to, and secondary to, the main body of a primary building. See Subsection #F2.030.2.A(2) for measurement method.

X. Definitions

No specialized terms beginning with the letter Y are defined at this time.

Y. Definitions

Yard. See "Setback."

Z. Definitions

Zero Lot Line. A building or structure that is placed on the property line.

Zone Map. The zoning map(s) of the [City of xxx, Washington](#), together with all amendments.

Zoning Administrator. The duly designated and appointed zoning administrator of the [City](#).

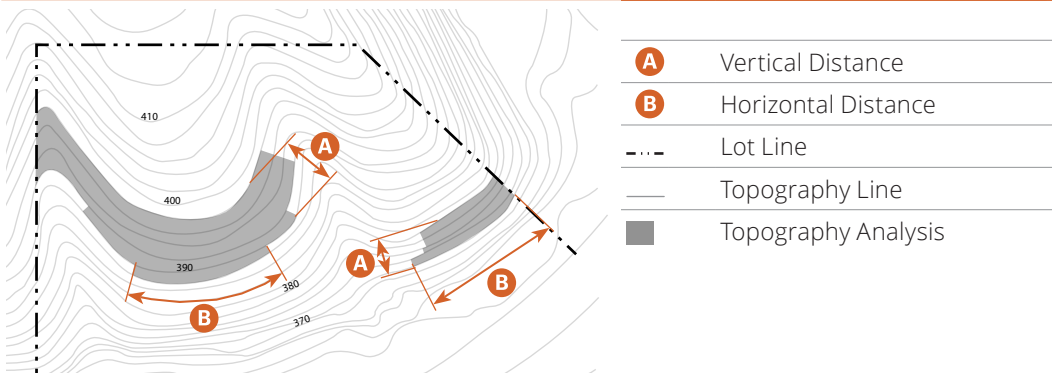
Zoning Code. The Zoning Code of the [City](#) specified in [Title x](#).

#F2.030 Measurements

1. Sloped Lots

- A. **Applicability.** The standards of Section 3.03.050 (Slope Standards) apply to sloped lots. Slope is measured by taking the vertical distance, or "rise", over the horizontal distance, or "run." The resulting fraction, or percentage, is the "slope" of the land. Sloped lots are those areas of land that exhibit the slopes of ten percent and greater.
 - B. **Methodology.** The following methodology shall be used to identify steep slopes protected in compliance with this Chapter. An example of the methodology is shown in Figure 1 (Example for Defining Sloped Lots).
- (1) **Steep Slope Determination.** To qualify as a steep slope, the slope shall be at least ten percent with a 10-foot vertical drop over a 100-foot horizontal distance parallel to at least one common contour line. The horizontal measurement shall cross property lines to establish if a steep slope may exist on a lot (i.e., the 100-foot minimum width calculation shall cross a property line if necessary to achieve this minimum width).

Figure #F2.030.1: Example for Defining Sloped Lots



- (2) **Area Calculation.** Steep slope areas are calculated based on the square feet of qualifying steep slope on the lot as determined in Subsection 1 above. There is no minimum square footage for each slope area.
- (a) First, calculate the square footage of slopes 30 percent and greater. Determine the square footage of each area as well as the sum of these areas for the total site.
 - (b) Second, calculate the square footage of slopes between 20 and 29.99 percent. Determine the square footage of each area as well as the sum of these areas for the total site.
 - (c) Third, calculate the square footage of slopes between 10 percent and 19.99 percent. Determine the square footage of each area as well as the sum of these areas for the total site.
 - (d) Last, calculate the square footage of slopes between 0 and 9.99 percent. Determine the square footage of each area as well as the sum of these areas for the total site.
- (3) **Steep Slope Resource Area.** Based on the area calculations in Subsection 2, above, Table 3.040.A (Maximum Amount of Sloped Areas Allowed to be Developed) identifies the percentage of sloped area that is developable. Figures 2 and 3 illustrate examples of the calculated slopes and the corresponding percentage allowed for development.

For topics that the City already provides measurement methods (e.g., building height), City to decide if this content is to be retained and modified or removed.

Figure #F2.030.2: Example for a Sloped Development Site (<1 acre)

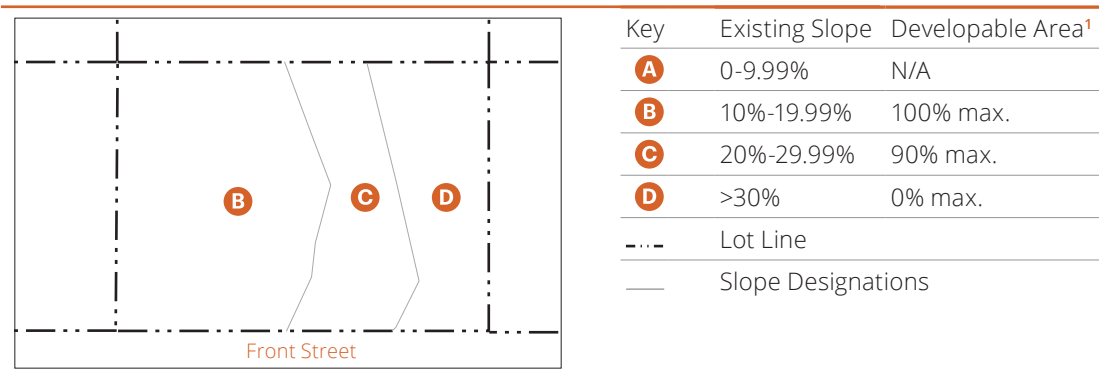
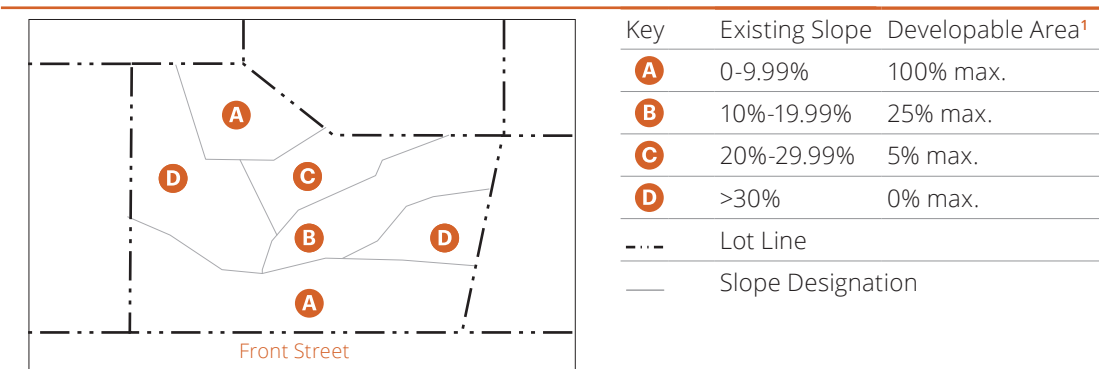


Figure #F2.030.3: Example for a Sloped Development Site (>1 acre)



¹In compliance with the setbacks of the zone, required on-site open space, this Section, and the maximum building footprint standards in Chapter 2 (Building Placement Standards).

(4) **Sloping Lot Height.** Lots with slopes of ten percent or more shall measure the maximum height of structures as set forth in the zone and measured vertically from ground level at the front setback line, or if no setback is required, at the center of the lot.

C. **Average Slope.** The result of dividing the length of a slope by the difference in elevation at the top and bottom of the slope.

(1) **Lots with Even Slope.** Average slope for lots with relatively even slope across the site and small lots is determined by using the following formula:

- (a) $S = ((T - B) \div \text{run}) \times 100$
- (b) $S = \text{average slope}$
- (c) $T = \text{elevation at top of slope}$
- (d) $B = \text{elevation at bottom of slope}$
- (e) $\text{Run} = \text{horizontal distance between the top and bottom elevations}$

- (2) **Lots with Uneven Slope.** Average slope of lots with an uneven slope across the site before grading is determined by using the following formula:
- (a) $S = (1.0029 \times I \times L) \div A$
 - (b) $S =$ average slope
 - (c) $I =$ contour interval in feet
 - (d) $L =$ summation of length of the contour lines in scale feet
 - (e) $A =$ area of the lot in acres

2. **Measuring Building Footprints**

A. **Methodology.** Measurement of width and depth.

- (1) **Main Body.** The width and depth of the main body shall be measured as follows:
- (a) The width shall be approximately parallel to the front.
 - (b) The depth shall be approximately perpendicular to the front.

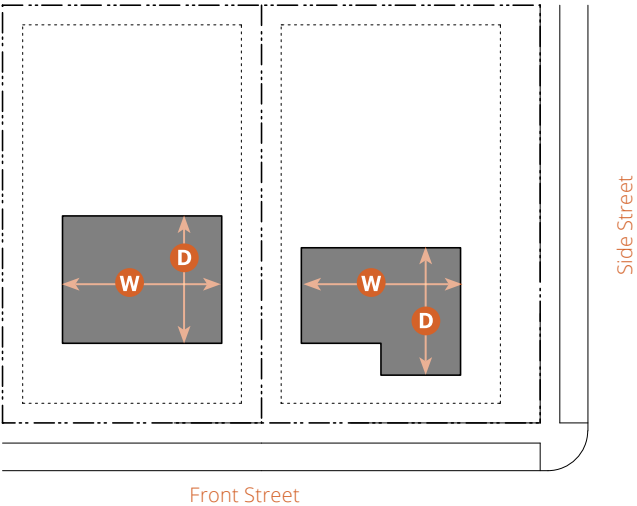


Figure #F2.030.4:
Main Body

- W** Width
- D** Depth

- (2) **Wings.** The width and depth of wings, shall be measured as follows:
- (a) The width shall be the dimension of the footprint most parallel with the adjacent street. For corner lots, either street can be used.
 - (b) The depth shall be the lesser of the two dimensions of the footprint.

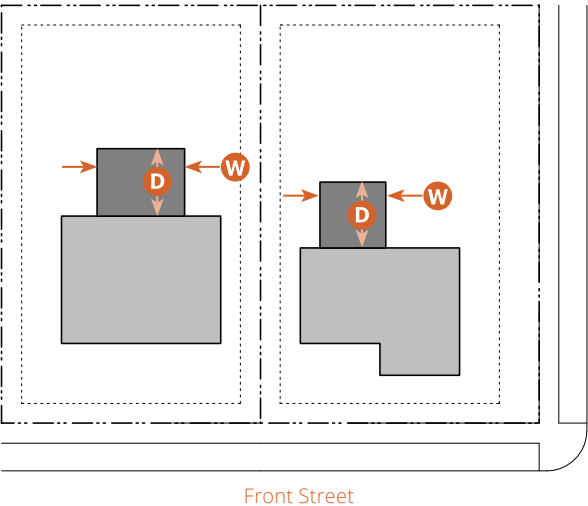


Figure #F2.030.5:
Wings and Ancillary Structures

- W** Width
- D** Depth

- (3) **Open Space(s).** The width and depth of open spaces shall be measured as follows:
- (a) The width shall be approximately parallel to the front
 - (b) The depth shall be approximately perpendicular to the front.

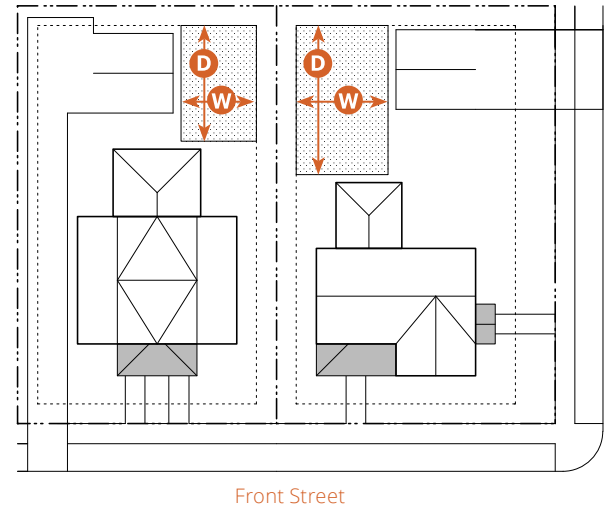


Figure #F2.030.6:
Open Space(s)

- W** Width
- D** Depth

- (4) **Courtyard(s).** The width and depth of courtyards shall be measured as follows:
- (a) The width shall be approximately parallel to the front; unless the courtyard is a secondary courtyard accessed directly from a side street.
 - (b) If a secondary courtyard is accessed directly from the side street, the width shall be parallel to the side street.
 - (c) The depth shall be approximately perpendicular to the width.

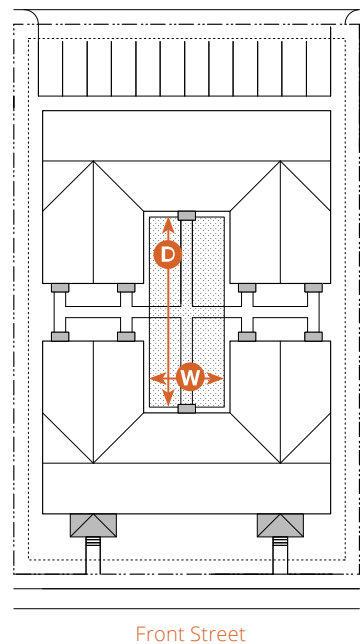


Figure #F2.030.7:
Courtyard(s)

- W Width
- D Depth

- (5) **Width-to-Height Ratio.** Measurement of width-to-height ratio and depth-to-height ratio of forecourts.
- (a) The width and depth of forecourts shall be measured per Figure 8 (Width-to-Height Ratio).
 - (b) The height of forecourts shall be a measurement of the vertical plane of the building that defines the forecourt.

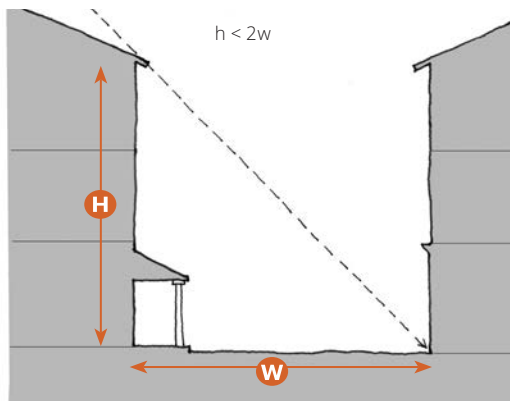


Figure #F2.030.8:
Width-to-Height Ratio

- W Width
- H Height

3. Highest Eave/Top of Parapet.

- (a) **Height, Overall.** The vertical distance between adjacent finished grade and the highest part of the structure directly above. See Figures 9 and 11.
- (b) **Height, Top of Parapet.** The vertical distance between adjacent finished grade and the top of the parapet of the primary building. See Figure 9.
- (c) **Eave.** The edge of the roof that overhangs the face of the adjoining wall. The bottom of the eave can range from exposed rafters to a finished horizontal surface.
- (d) **Height, Highest Eave.** The vertical distance between adjacent finished grade and the highest eave of the primary building. See Figure 11.
- (e) **Highest Eave Measurement.** The measurement is to bottom of the eave assembly type.

Figure #F2.030.9: Top of Parapet and Flat Roof

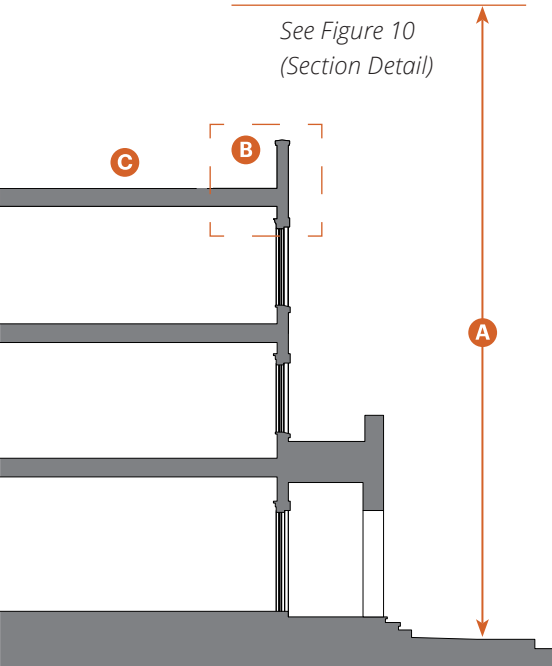


Figure #F2.030.10: Section Detail of Top of Parapet and Flat Roof

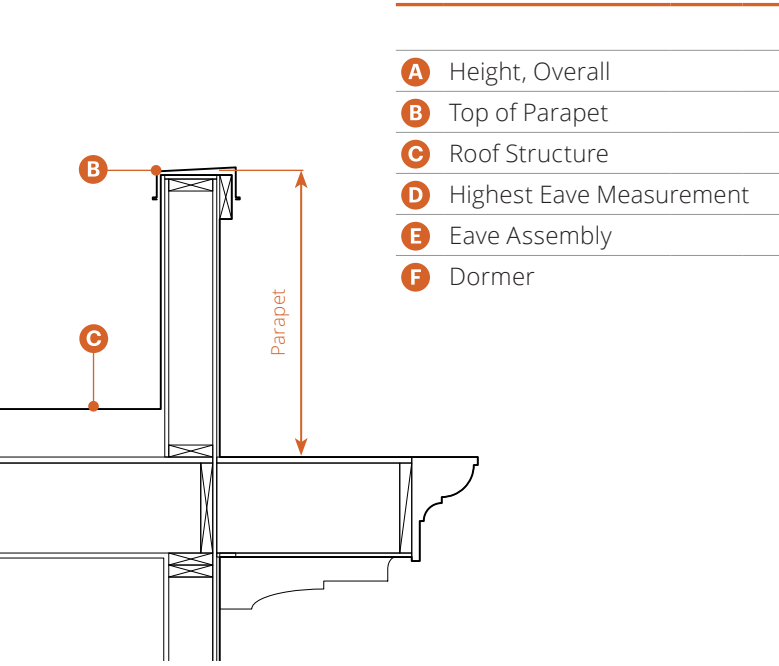


Figure #F2.030.11: Highest Eave for Pitched Roof

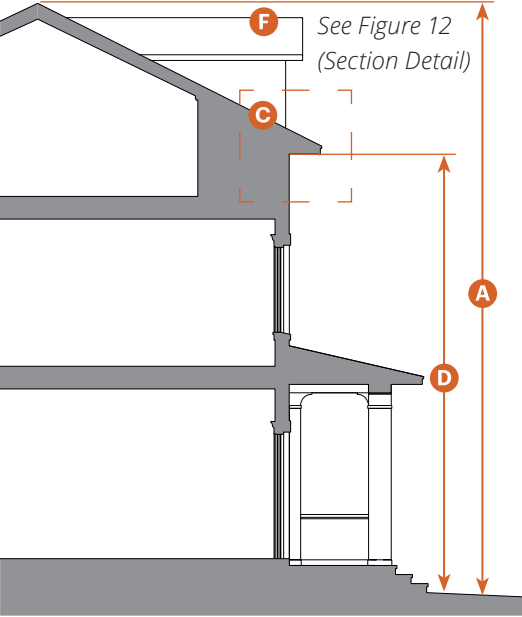
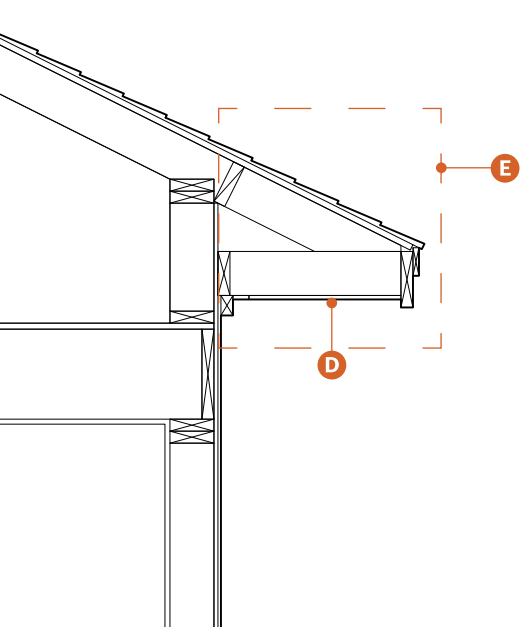


Figure #F2.030.12: Section Detail of Highest Eave for Pitched Roof



4. Lot type and lot Line Identification to apply Building and Parking Setbacks

- A. **Methodology.** Using the definitions in this Chapter, lot types and lot lines are to be identified as depicted in Figure 13 (Lot Type and Lot Line Identification).

Figure #F2.030.13: Lot Type and Lot Line Identification

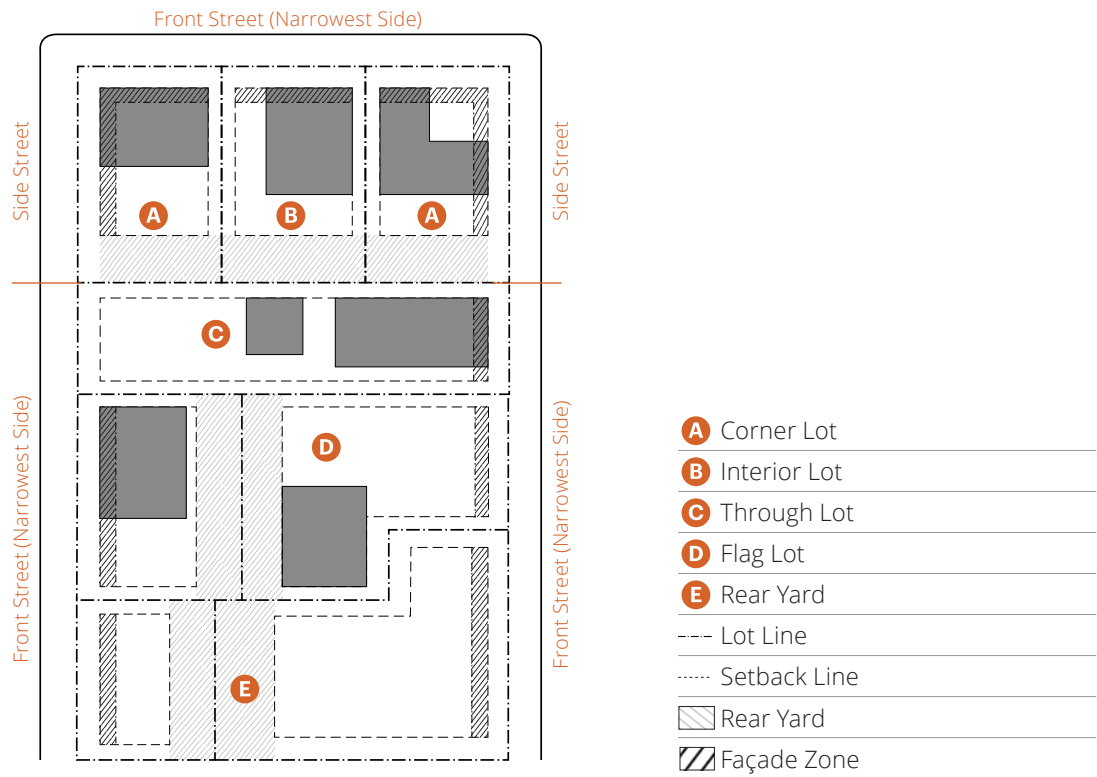


Figure #F2.030.14: Measuring an Irregular Lot Type

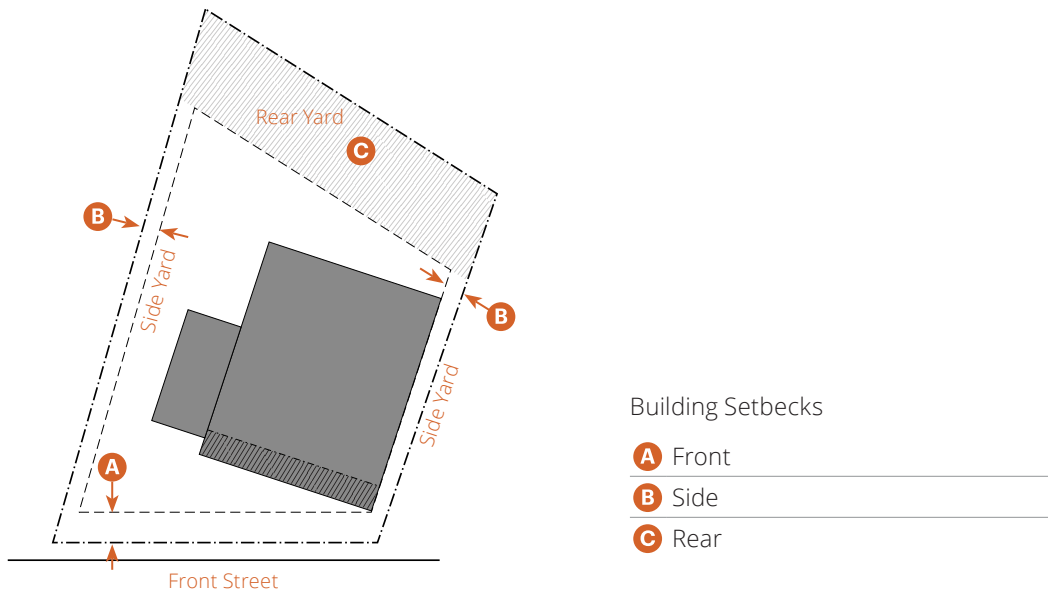
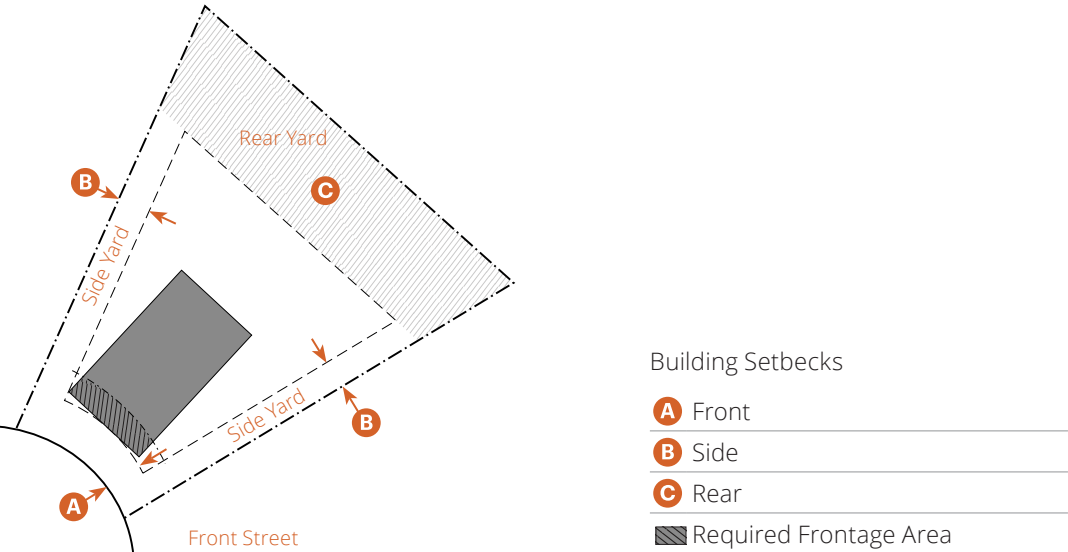


Figure #F2.030.15: Measuring an Irregular Lot Type

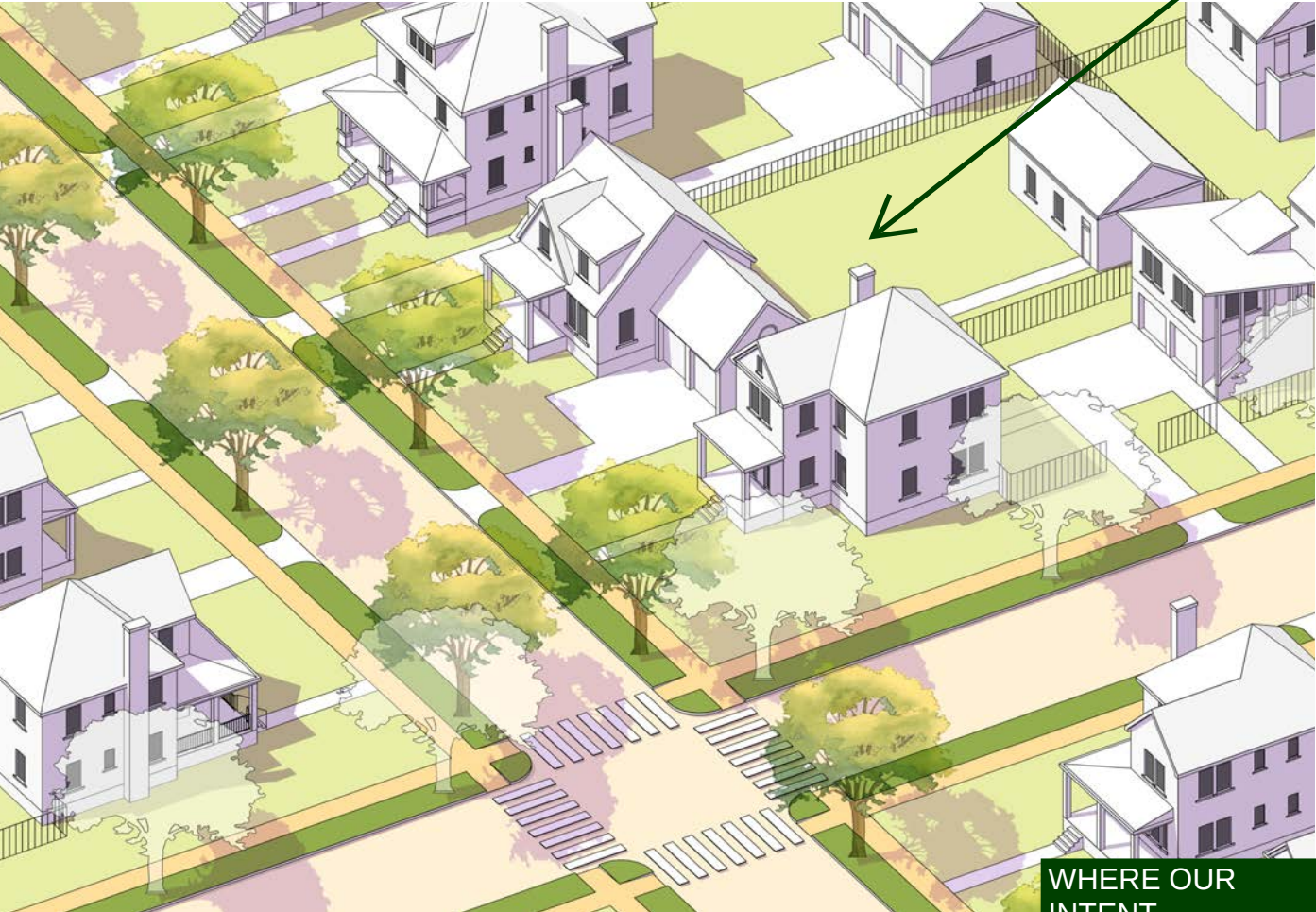


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TITLE

IMAGE TO HELP
DESCRIBE SCALE
OF THE ZONE

2.030 Neighborhood Residential Overlay.Small 1 (NRO.S1)



City to decide if
Overlay zone name
to be revised or
replaced.

General note: the illustrations above are intended to provide a brief overview of the zone and are descriptive.

1. Intent

A neighborhood environment of small-to-medium footprint, low-to-moderate-intensity housing choices.

The following are generally appropriate form elements in the zone.

House-Scale Buildings: Duplex Side-by-Side, Duplex Stacked, Cottage Housing, and Triplexes/Fourplexes, and multiple buildings on one lot
Small-to-Medium Building Footprints

Medium Front Setbacks
Small-to-Medium Side Setbacks
Up to 2.5 Stories
Porch Projecting, Porch Engaged, and Dooryard Frontage Types

WHERE OUR
INTENT
STATEMENT IS
LOCATED.

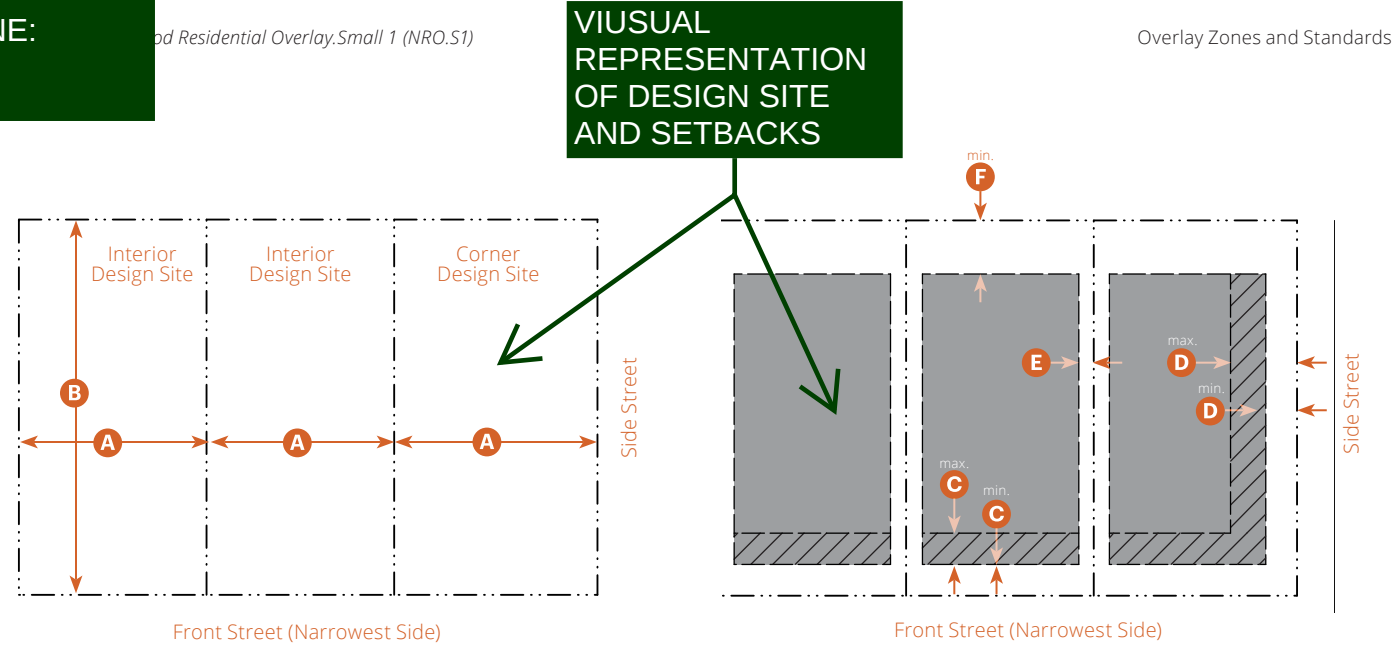
NUMERICAL
DESCRIPTION OF
ZONE

ALLOWED BUILDING
TYPES

Façade Zone. This approach provides a minimum and maximum building setback to allow for creativity in building façade design while positively shaping the streetscape.

LIST OF ALLOWED BUILDING TYPES IN EACH ZONE

Predictability. Building Type standards increase predictability about form and ensure that each allowed Type will fit well on the minimum size of land required (Design Site).



Key
--- ROW/ Design Site Line

2. Building Types and Design Site Size				
Allowed Building Types	Design Site ¹		Standards	
	Width A	Depth B		
Duplex Side-by-Side	46' min.	85' min.	4.030	
Duplex Stacked	44' min.	95' min.	4.040	
Cottage Housing	100' min.	120' min.	4.050	
Triplex/Fourplex	46' min.	97' min.	4.060	

Each design site shall have only one primary building type except cottage housing.

¹As required by Table 2.020.A, design sites are required to include public open space and new thoroughfare(s) per Chapter #C (Large Site Standards).

Design Site Coverage	
Coverage (max.)	Maximum footprint allowed for selected Type(s).

Key
--- ROW/ Design Site Line
--- Building Setback Line
■ Building Placement Area
▨ Façade Zone

3. Building Placement		
Setback (Distance from ROW/ Design Site Line) ²		
Front (Façade Zone)	15' min.; 25' max.	C
Side Street (Façade Zone)	5' min.; 15' max.	D
Side	5' min.	E
Rear	15' min.	F

Building Façade		
Façade Zone	Front St.	Side St.
Total length of façade defined by building and frontage type required within or abutting the façade zone	60% min.	50% min.

²Design sites with slopes $\geq 10\%$ shall comply with Section 3.040 (Slope Standards).

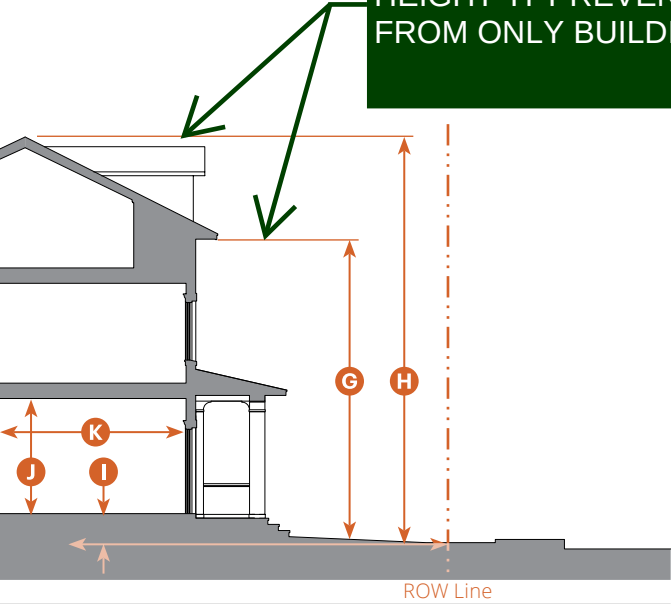
4. Frontage	
A private frontage type is required at building and/or unit entries along a thoroughfare or publicly accessible space.	
Allowed Frontage Types	Standards
Porch Projecting	#A2.040
Porch Engaged	#A2.050
Dooryard	#A2.060

SITE COVERAGE
DEPENDANT ON
BUILDING TYPE

MAX REQUIREMENT
AS WELL AS MIN.

FACADE ZONE
STANDARD
ENSURES HEALTHY
STREET FRONTAGE

HAVING BOTH A EAVE/PARAPET HEIGHT 'G' AND AN OVERALL HEIGHT 'H' PREVENTS BUILDERS FROM ONLY BUILDING FLAT ROOFS



Key
--- ROW Line

5. Building Form

Height

Primary Building³

Stories	2.5 max.	
To Highest Eave/Parapet	22' max.	G
Overall	35' max.	H
Ground Floor Finish Level	6" min. ⁴	I
Ground Floor Ceiling	9' min.	J

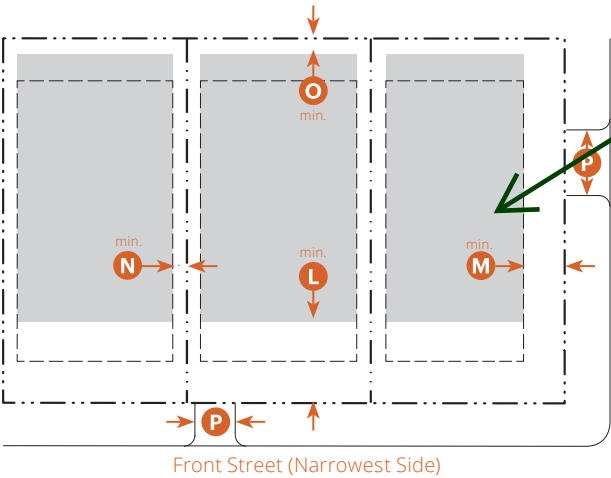
Footprint

See Chapter 4 (Building Types)		
Depth, Ground-Floor Space		K
Cottage Housing	20' min.	
All Other Building Types	30' min.	

Where provided, dormer windows shall be in compliance with Figure 2.020.1 (Half Story Standards).

³See Chapter 4 (Building Types) for refinements to massing and height standards.

⁴Common entries may be set at grade in compliance with local and federal accessibility standards.



PARKING ZONE SHOWN IN DIAGRAM

Key
--- ROW/ Design Site Line
--- Building Setback Line
■ Parking Area

6. Parking

Spaces Required Vehicular⁵ Bicycle

Spaces Required (per unit)		
Within 1/2 mile of transit stop	None required	1 min.
Not within 1/2 mile of transit stop		
Lot ≤ 6000 sf	1 min.; 1 max	1 min.
Lot > 6000 sf	1 min.; 1.5 max	1 min.

Setback (Distance from ROW/ Design Site Line)

Front	50' min. ⁶	L
Side Street	25' min.	M
Side	5' min.	N
Rear	5' min.	O

Driveway One-Way Two-Way

Curb Cut/Width	12' max.	P
----------------	----------	---

⁵See Subsection 3.030 for additional standards.

⁶ 10' min. allowed for parking court of 6 or fewer spaces. See Figure 3.030.1 (Shared Parking Court).

PARKING REQ'S DEPENDENT ON ACCESS TO TRANSIT

Building Height.
There is a considerable difference between a 35' tall building with a flat roof and one with a pitched roof. Consider setting a lower height for roof eaves where existing buildings are up to 2 stories.

Parking setbacks.
The intent of these standards is to locate vehicle parking to the rear portion of each lot to present pedestrian-orientated buildings and streetscapes instead of parking lots.

MAX CURB CUT REQUIREMENTS HELP PRESERVE WALKABLE CONTEXT

4.050 Duplex Stacked



Example of Duplex Stacked



Example of Duplex Stacked



Example of Duplex Stacked

1. Description

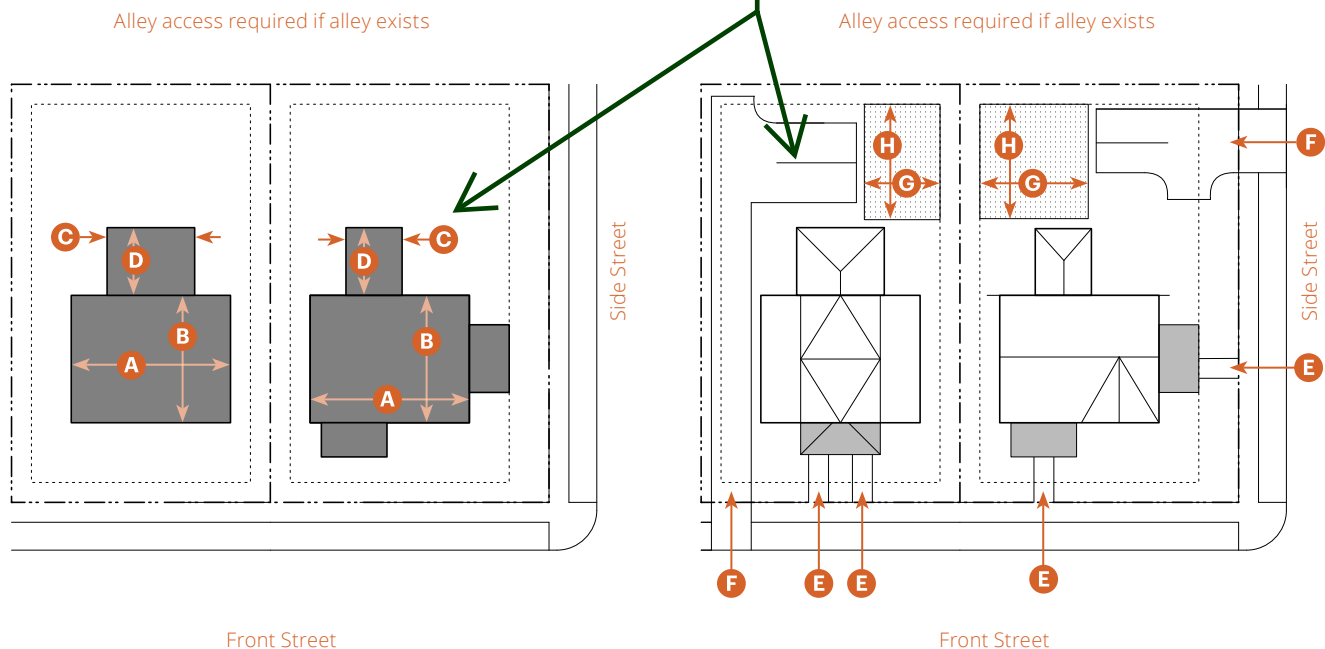
A small-to-medium-sized, detached, House-Scale Building with small-to-medium setbacks and a rear setback. The building consists of two stacked units within a single building massing. The type has the appearance of a medium-to-large, single-unit house and is scaled to fit within lower-intensity neighborhoods.

2. Number of Units

Units per Building	2 max.
Buildings per Design Site	1 max.

General Note: Photos on this page are illustrative, not regulatory.

Photos.
City to decide if photo(s) to be replaced with other example(s) of the type.



Key

- ROW/ Design Site Line
- Building Setback Line
- Building

3. Building Size and Massing

Height

Stories 2.5 max.

Main Body¹

Width 36' max. **A**

Depth 48' max. **B**

Wing(s)^{1,2}

Width 15' max. **C**

Depth 24' max. **D**

Separation between Wings on Same Façade 15' min.

Offset from Main Body 5' min. at façades along front street and side street

Massing Types

Sloped Roof Box Section 4.120.1.A

Sloped Roof Bar Section 4.120.1.B

Sloped Roof L Section 4.120.1.C

¹ In compliance with Subsection 2 of the overlay zone

² Height is limited to 1 story less than main body and 10' less to highest eave/parapet.

Key

- ROW/ Design Site Line
- Building Setback Line
- Frontage
- Shared Yard

4. Pedestrian Access

Main Entrance Location Front Street³ **E**

Each unit shall have an entry on or within 20' of the front façade.

³ On corner design sites, each unit shall front a different street.

5. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection 6 of the overlay zone. **F**

Parking may be covered, uncovered, or in a garage.

6. Shared Yard

Width 15' min. **G**

Depth 15' min. **H**

Required setbacks and driveways do not count toward shared yard space.

Required private open space shall be located behind the main body of the building.

MAX SIZE OF MAIN
BODY ENSURES
HOUSE-SCALE
COMPATIBILITY

4.060 Cottage Housing



Example of Cottage Housing



Example of Cottage Housing



Example of Cottage Housing

1. Description

A group of up to nine small, detached, House-Scale Buildings arranged to define a shared court open to and visible from the street. The shared court is shared yard space and takes the place of a private rear setback, thus becoming an important community-enhancing element. The type is scaled to fit within low-to-moderate-intensity neighborhoods.

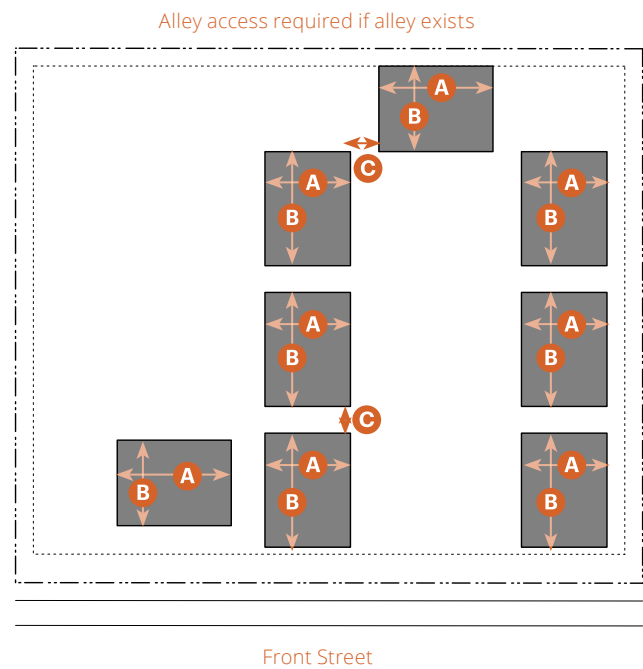
Synonym: Bungalow Court

2. Number of Units

Units per Building	1 max.
Buildings per Design Site	3 min.; 9 max.

General Note: Photos on this page are illustrative, not regulatory.

Photos.
City to decide if photo(s) to be replaced with other example(s) of the type.



- Key**
- ROW/ Design Site Line
 - Building Setback Line
 - Building

3. Building Size and Massing

Height

Front Buildings	1.5 stories max.; 14' to highest eave/parapet
Rearmost Building	2.5 stories max.; 22' to highest eave/parapet

Main Body ¹	NRO.S1	NRO.S2	
Width	25' max.	32' max.	A
Depth	25' max.	32' max.	B
Separation between Cottages	7' min.		C

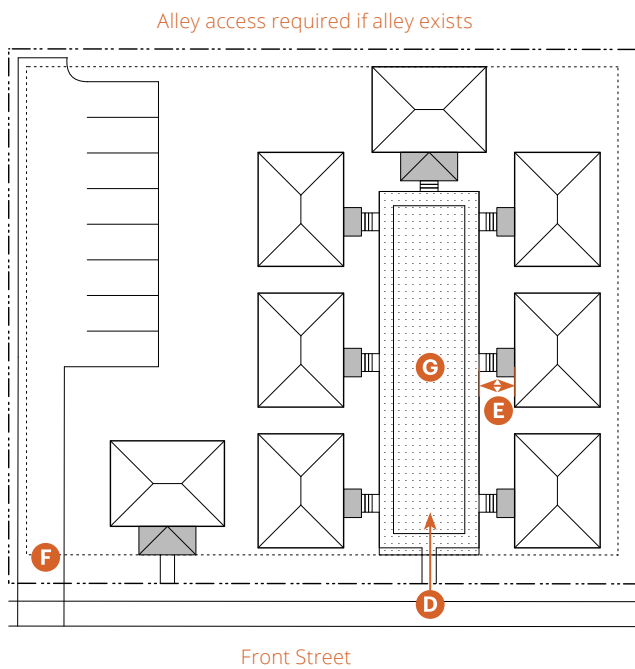
Massing Types

Sloped Roof Box	Section 4.120.1.A
Sloped Roof L	Section 4.120.1.C

4. Pedestrian Access

- Shared court shall be accessible from front street. D
- Pedestrian Path Setbacks
 - From Building Entrance 6' min. E
- Main entrance to units required from shared court, except that units on a corner may enter from the side street.
- Pedestrian connections shall connect all buildings to the public ROW, shared court, and parking areas.

¹ In compliance with Subsection 2 of the overlay zone



- Key**
- ROW/ Design Site Line
 - Building Setback Line
 - Frontage
 - Shared Yard

5. Vehicle Access and Parking

- Driveway and parking location shall comply with standards in Subsection 6 of the overlay zone. F
- Parking may be covered, uncovered, or in a garage.
- Spaces may be individually accessible by the units and/or common parking area(s) at rear or side of design site.

6. Shared Yard

≤ 5 units	20' x 30' min.	G
> 5 units	20% of lot area, no dimension shall be less than 20'	G

Required setbacks and driveways do not count as shared yard space.

7. Miscellaneous

Fencing

- Fencing only allowed around or between individual buildings and shall not exceed 36" in height.
- Visibility shall be maintained through the fencing.

4.070 Triplex/Fourplex



Example of Fourplex



Example of Triplex



Example of Fourplex

1. Description

A small-to-medium-sized, detached, House-Scale Building that consists of three to four side-by-side and/or stacked units, typically with one shared entry or individual entries along or within 20' of the front. The type has the appearance of a medium-sized, single-unit house and is scaled to fit within low- to moderate-intensity neighborhoods.

2. Number of Units

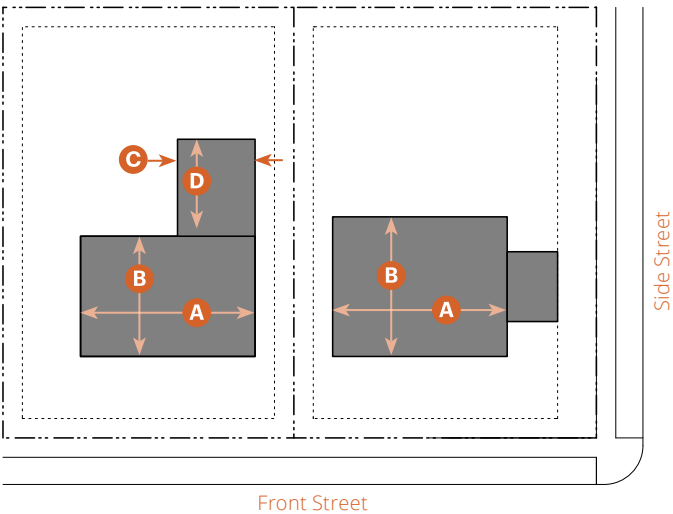
Units per Building	3 min.; 4 max.
Buildings per Design Site	1 max.

General Note: Photos on this page are illustrative, not regulatory.

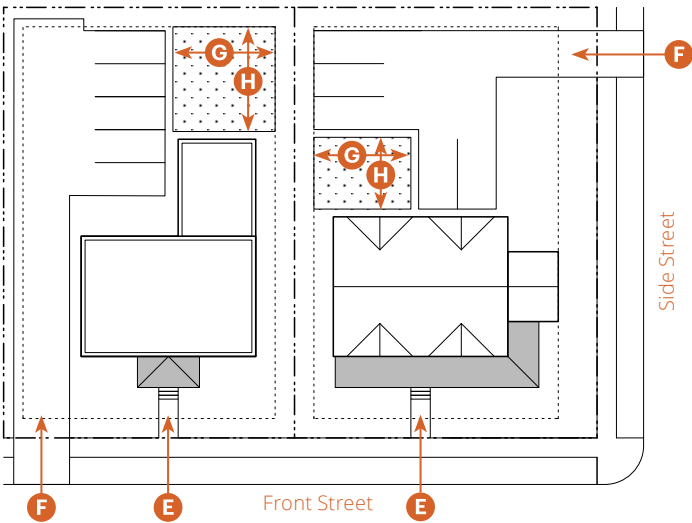
Photos.

City to decide if photo(s) to be replaced with other example(s) of the type.

Alley access required if alley exists



Alley access required if alley exists



Key

- ROW/ Design Site Line
- Building Setback Line
- Building

3. Building Size and Massing

Height

Stories 2.5 max.

Main Body¹

Width 48' max. **A**

Depth 48' max. **B**

Wing(s)^{1,2}

Width 15' max. **C**

Depth 20' max. **D**

Separation between Wings on Same Façade 15' min.

Offset from Main Body 5' min. at façades along front street and side street

Massing Types

Sloped Roof Box	Section 4.120.1.A
Sloped Roof Bar	Section 4.120.1.B
Sloped Roof L	Section 4.120.1.C
Sloped Roof Forecourt	Section 4.120.1.E

¹ In compliance with Subsection 2 of the overlay zone

² Height is limited to 1 story less than main body and 10' less to highest eave/parapet.

Key

- ROW/ Design Site Line
- Building Setback Line
- Frontage
- Shared Yard

4. Pedestrian Access

Main Entrance Location Front Street **E**

Each unit may have an individual entry.

5. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection 6 of the overlay zone. **F**

Parking may be covered, uncovered, or in a garage.

6. Shared Yard³

Width 15' min. **G**

Depth 15' min. **H**

Required setbacks and driveways do not count towards shared yard space.

Required shared yard space shall be located behind the main body of the building.

³ None required if the building is within 800' of public open space

4.090 Townhouse



Example of 2.5-Story Townhouse



Example of 2.5-Story Townhouse



Example of 3-Story Townhouse

1. Description

A small-sized, typically attached, House-Scale Building (up to four units side-by-side) with a rear setback. Each Townhouse consists of up to two flats. As allowed by the overlay zone, the type may also be detached with minimal separations between buildings. The type is typically located within low-to-moderate-intensity neighborhoods.

Synonym: Rowhouse

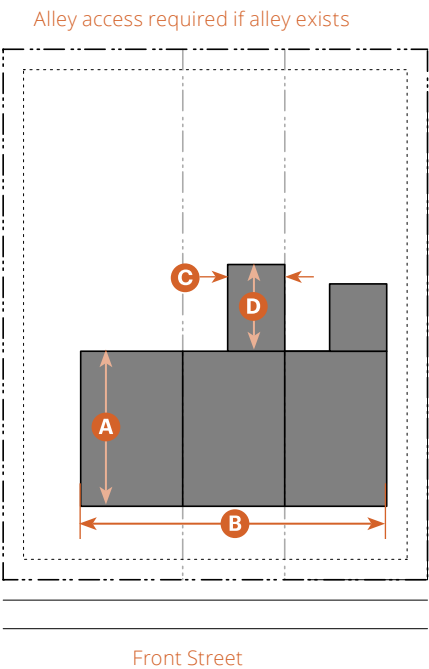
2. Number of Units

	NRO.S.2	NRO.M1	NRO.M2
Units per Townhouse	_____	2 max. ¹	_____
Townhouses per Building	3 max.	5 max.	8 max.
Buildings per Design Site	_____	1 max.	_____

¹ Reflects multiple flats stacked vertically

General Note: Photos on this page are illustrative, not regulatory.

Photos.
City to decide if photo(s) to be replaced with other example(s) of the type.



Key

- ROW/ Design Site Line
- Building
- Building Setback Line

3. Building Size and Massing

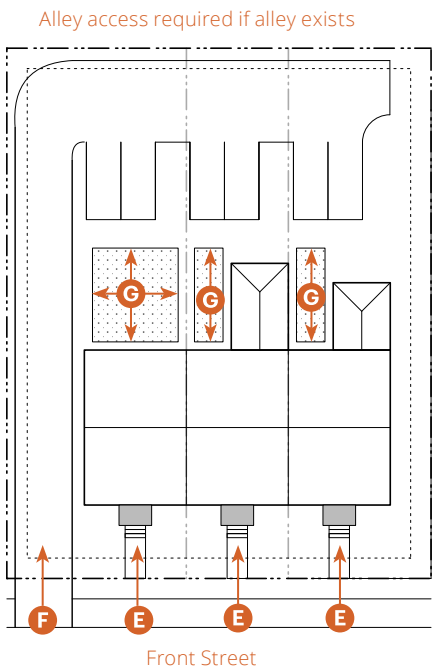
Height	NRO.S2	NRO.M1	NRO.M2	
Stories	— 2.5 max. —		3 max.	
Main Body ²				
Depth per Unit	40' max.	40' max.	48' max.	A
Width per Building	60' max.	80' max.	128' max.	B
Wing(s) ^{2,3}				
Width	— 14' max. —			C
Depth	— 28' max. —			D
Separation between Wings	— 15' min. —			
on Same Façade				
Offset from Main Body	5' min. at façades along front street and side street			

Massing Types (Per Building)

Sloped Roof Bar	Section 4.120.1.B
Sloped Roof T	Section 4.120.1.D
Sloped Roof Forecourt	Section 4.120.1.E

² In compliance with Subsection 2 of the overlay zone

³ Except in NRO.M2, height is limited to 1 story less than main body and 10' less to highest eave/parapet.



Key

- ROW/ Design Site Line
- Frontage
- Building Setback Line
- Shared yard

4. Pedestrian Access

Main Entrance Location	Front Street	E
Each unit shall have an individual entry facing a street.		

5. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection 6 of the overlay zone.	F
Parking may be covered, uncovered, or in a garage.	

6. Yard

Private Yard Space	
Size	8' x 8' min. G
Required setbacks and driveways do not count toward private yard space.	
Required private yard space shall be located behind the main body of the building.	

4.100 Courtyard



Example of 3-Story Courtyard



Example of 3-Story Courtyard



Example of 2.5-Story Courtyard

1. Description

A detached, House-Scale Building that consists of up to 16 multiple attached and/or stacked units, accessed from a shared courtyard. The shared court is shared yard space and takes the place of a rear setback. The type is typically integrated as a small portion of lower-intensity neighborhoods or more consistently into moderate-intensity neighborhoods.

Synonym: Courtyard Apartment

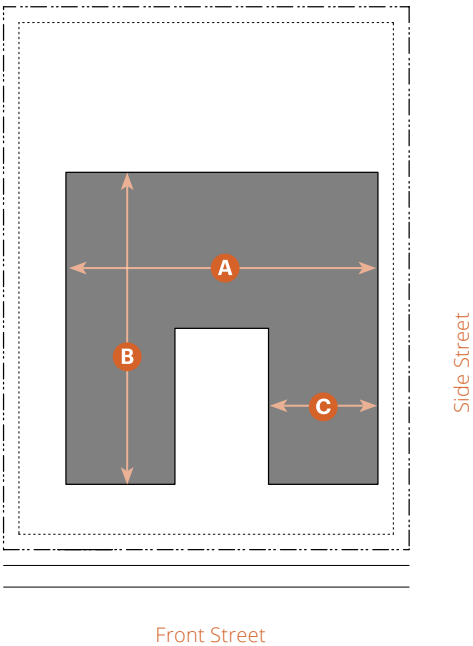
2. Number of Units

	NRO.M1	NRO.M2
Units per Building	12 max.	16 max.
Buildings per Design Site	1 max.	

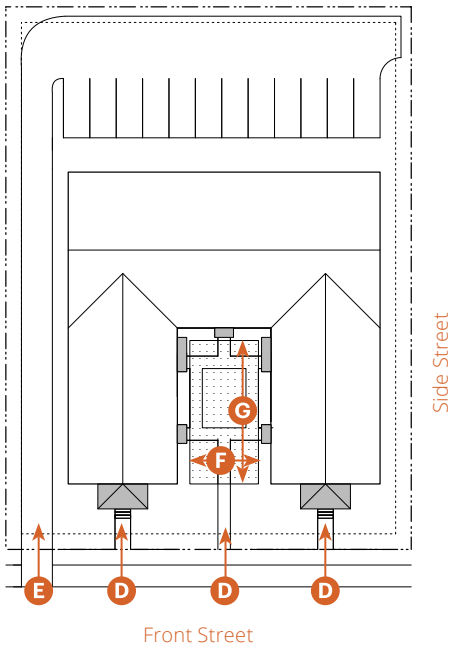
General Note: Photos on this page are illustrative, not regulatory.

Photos.
City to decide if photo(s) to be replaced with other example(s) of the type.

Alley access required if alley exists



Alley access required if alley exists



Key

- ROW/ Design Site Line
- Building Setback Line
- Building

3. Building Size and Massing

Height	NRO.M1	NRO.M2
Stories	2.5 max.	3 max.
Main Body ¹		
Overall Width	75' max.	100' max. A
Overall Depth	60' max.	100' max. B
Size	— 40' max. —	C

Massing Types

Sloped Roof L Courtyard	(L shaped) Section 4.120.1.F
Sloped Roof Front Courtyard	(U-shaped) Section 4.120.1.G

¹ In compliance with Subsection 2 of the overlay zone

Key

- ROW/ Design Site Line
- Building Setback Line
- Frontage
- Shared Yard

4. Pedestrian Access

Main Entrance Location ²	Courtyard or Street	D
-------------------------------------	---------------------	----------

² The main entry of ground floor units shall be directly off of a courtyard or street, whichever is closer.

5. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection 6 of the overlay zone. **E**

Parking may be covered, uncovered, or in a garage.

6. Shared Yard

Shared Yard space	L-shaped	U-shaped
Width (clear)	20' min. ³	25' min. F
Depth (clear)	30' min. ⁴	35' min. ⁴ G

Courtyard(s) shall be accessible from the front street.

Multiple courtyards are required to be connected via a Passage through or between buildings.

Building shall define at least two walls of the courtyard.

Front of courtyard not defined by building may be defined by 2'-6" to 5' tall wall with entry gate/door.

³ 25' min. for a 3-story building.

⁴ 50' min. for a 3-story building.

4.110 Multiplex



Example of 2.5-Story Multiplex



Example of 2.5-Story Multiplex



Example of 3-Story Multiplex

1. Description

A medium-to-large-sized, detached, House-Scale Building that consists of up to 18 side-by-side and/or stacked units, typically with one shared entry. The type is scaled to fit within moderate-intensity neighborhoods.

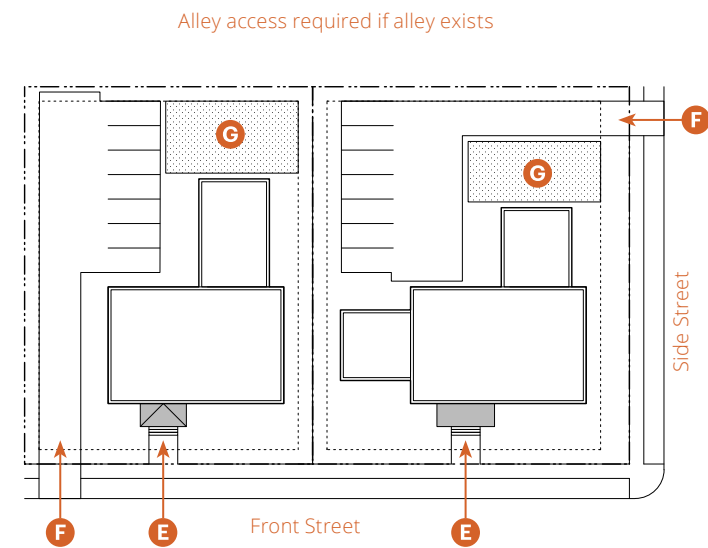
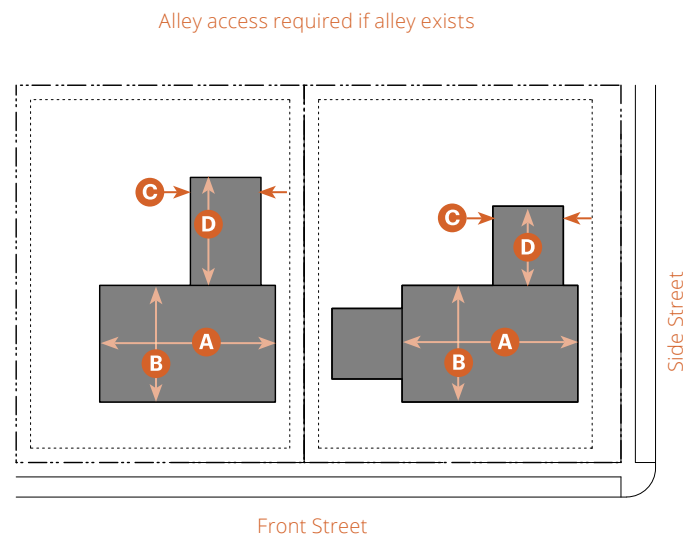
Synonym: Mansion Apartment

2. Number of Units

	NRO.M1	NRO.M2
Units per Building	8 max.	18 max.
Buildings per Design Site	1 max.	

General Note: Photos on this page are illustrative, not regulatory.

Photos.
City to decide if photo(s) to be replaced with other example(s) of the type.



Key

- ROW/ Design Site Line
- Building
- Building Setback Line

3. Building Size and Massing

Height	NRO.M1	NRO.M2
Stories	2.5 max.	3 max.
Main Body¹		
Width	60' max.	A
Depth	60' max.	B
Wing(s)^{1,2}		
Width	24' max.	C
Depth	30' max.	D
Separation between Wings on Same Façade	15' min.	
Offset from Main Body	5' min. ³	3' min. ³

Massing Types

Sloped Roof Bar	Section 4.120.1.B
Sloped Roof L	Section 4.120.1.C
Sloped Roof T	Section 4.120.1.D
Sloped Roof Forecourt	Section 4.120.1.E

¹ In compliance with Subsection 2 of the overlay zone

² In NRO.M1 overlay zone, height is limited to 1 story less than main body and 10' less to highest eave/parapet.

³ At façades along front street and side street

Key

- ROW/ Design Site Line
- Frontage
- Building Setback Line

4. Pedestrian Access

Main Entrance Location	Front Street	E
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Units located in the main body shall be accessed by a common entry along the front or side street.

On corner design sites, units in a wing may enter from the side street.

5. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection 6 of the overlay zone.	F
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Parking may be covered, uncovered, or in a garage.

6. Shared Yard⁴

Area	400 sf	G
Min. Dimension	15'	

Required setbacks and driveways do not count toward shared yard space.

Required shared yard space shall be located behind the main body of the building.

⁴ None required if the building is within 800' of public open space.



CITY OF
BAINBRIDGE ISLAND

Planning Commission Special Meeting Agenda Bill

MEETING DATE: September 3, 2025

ESTIMATED TIME: 30 Minutes

AGENDA ITEM: (8:30 PM) SUMMING UP & RECAP AGENDA FOR SEPTEMBER 4, 2025, EVENING MEETING

AGENDA CATEGORY: Discussion

PROPOSED BY: Planning &
Community Development

PREVIOUS PLANNING COMMISSION REVIEW DATE(S):

PREVIOUS COUNCIL REVIEW DATE(S):

RECOMMENDED MOTION: