

Call to Order (Attendance, Agenda, Ethics)
Review and Approval of Minutes – July 15, 2019
Moratorium Update
McDonalds ([BLD23891](#))
Hyla Middle School ([PLN51288 SPR](#))
Green Building Update
New/Old Business
Adjourn

Call to Order (Attendance, Agenda, Ethics)

Chair Joseph Dunstan called the meeting to order at 2:00 PM. Design Review Board (DRB) Members in attendance were Jane Rein, Todd Theil, Laurel Wilson, Peter Perry, Shawn Parks and Michael Loverich. Planning Commissioners Don Doman and Jon Quitslund were present. City Staff present were Interim Planning Manager David Greetham and Administrative Specialist Carla Lundgren who monitored recording and prepared minutes.

The agenda was reviewed. No conflicts were disclosed.

Review and Approval of Minutes – July 15, 2019

Motion: I move to approve the minutes.

Perry/Loverich: Passed Unanimously

Moratorium Update

David Greetham, Interim Planning Manager

Discussion Only

McDonalds – Design Guidelines Review ([BLD23891](#))

Project Manager: Ellen Fairleigh, Planner

Discussion Only

Hyla Middle School – Review & Recommendation ([PLN51288 SPR](#))

Project Manager: Kelly Tayara, Senior Planner

Motion: I move to recommend approval for this project.

Perry/Rein: Passed 6-1

****See attached Review & Recommendation form for recommended conditions.****

Green Building Code Memo

Jane Rein, CRB Member

Discussion Only

New/Old Business

Joe Dunstan, Chair - Continued conversation re: McDonalds remodel

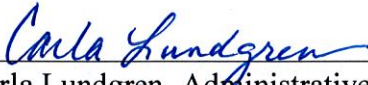
Adjourn

The meeting was adjourned at 4:40 PM.

Approved by:



Joseph Dunstan, Chair



Carla Lundgren, Administrative Specialist



PLEASE PRINT

[illegible]

A Brand Walls: Tile Eurowest
E -Wood "R9 Black"

B Parapet Band: Metal-Era
Corrugated Metal Color
"Cityscape"

C Lap Siding: James Hardie
Cement Board. Color
"Fairview Taupe"

D Above Canopy Finish:
Nichiha Vintage Wood
Collection Cedar Fiber
Cement Siding



 Accent Color:
"Iron Mountain"



LIGHTING



HIRAF LED DOWNLIGHT
BY SECURITY LIGHTING
COLOR: CITYSCAPE

BRAND WALLS

OPTIONAL HEARTH (OPTION 2)



RADIAL LED WALL SCENCE
BY SECURITY LIGHTING
COLOR: WHITE/SILVER

WHITE CANOPY

ENTRIES

BACK OF HOUSE



ARCHITECTURAL LED FLOOD LIGHT
BY SECURITY LIGHTING
COLOR: WHITE

WHITE CANOPY (ABOVE)



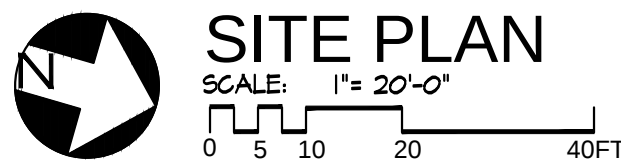
6" LED DOWNLIGHT
BY SECURITY LIGHTING
COLOR: WHITE

DRIVE THRU TRELLIS



LED STRIP LIGHT
BY TETRA MAX
COLOR: WHITE

CANOPY



SITE AREA:	0.21 ACRE
EXISTING PARKING:	47 STALLS
PARKING REQUIRED:	1 PER EACH EMPLOYEE PLUS 1 SPACE FOR EVERY 4 OCCUPANTS AS DETERMINED BY THE CITY DEPARTMENT
PARKING PROVIDED:	44 STALLS
ACCESSIBLE REQUIRED:	2 STALLS (BASED ON 47 PROVIDED)
ACCESSIBLE PROVIDED:	2 STALLS
ZONING:	HIGH SCHOOL ROAD I
BUILDING AREA:	3,956 SQ. FT.
OCCUPANCY:	A-2 (EXISTING)
TYPE OF CONSTRUCTION:	V-B (EXISTING)

(AD-01) REMOVE EXISTING ± INSTALL NEW BROOM-FINISH, SLIP-RESISTANT CONCRETE CROSSWALK AS SHOWN. PROVIDE 5% MAX SLOPE IN DIRECTION OF TRAVEL & 1.5% MAX CROSS SLOPE AT CROSSWALK; REGRADE PARKING LOT AND SEALCOAT AS NECESSARY. PROVIDE APPROPRIATE GRADED NON-ABRUPT TRANSITION TO ADJACENT PARKING LOT. ENSURE THERE IS NO CHANGE OF LEVEL GREATER THAN 1/4" OR 1/2" WITH BEVEL.

(AD-02) RELOCATE AND RESTRIPE BARRIER-FREE ACCESSIBLE STALLS (TYP. OF 2) AS SHOWN. WITH ACCESSIBLE TRANSITION TO EACH STALL. WIDTH OF STALLS AND ACCESS AISLES TO BE MEASURED FROM CENTER OF STRIPING. ENSURE ALL SLOPES AT NEW PARKING STALLS AND ACCESS AISLE DO NOT EXCEED 1.5% IN ALL DIRECTIONS; REGRADE PARKING LOT AND SEALCOAT AS NECESSARY. PROVIDE APPROPRIATE GRADED NON-ABRUPT TRANSITION TO ADJACENT PARKING STALLS. PAINT ACCESSIBLE SYMBOL AT STALLS PER 4/SD1. ENSURE EXISTING ACCESSIBLE PARKING STALL SIGNS ARE ADJACENT AT EACH STALL WITH BOTTOM OF THE SIGN 4" ABOVE 6'0" MIN. CLEARANCE. PROVIDE ADJACENT PARKING SURFACE (TYP. OF 2) PER DETAIL 6/SD1. INSTALL NEW "VAN ACCESSIBLE" SIGN TO BE LOCATED AT STALL WITH PASSENGER SIDE ADJACENT TO 96" MIN. WIDE ACCESS AISLE.

(AD-03) REMEDIATION OCCURS IN **(AD-02)**

(AD-04) REMOVE EXISTING ± INSTALL NEW SLIP RESISTANT, CONCRETE CURB RAMP AS SHOWN & PER DETAIL 14/SD1. SLOPE IN DIRECTION OF TRAVEL TO BE 0.8% MAX WITH 1.5% MAX CROSS SLOPE. PROVIDE SIDE FLARES WITH 10% MAX SLOPE. PROVIDE 4'-0" MIN DEEP X FULL RAMP WIDTH TOP LANDING WITH 1.5% MAX. SLOPE IN ALL DIRECTIONS. ENSURE TOP AND BOTTOM TRANSITIONS ARE FLUSH WITH 1/4" MAX. CHANGE IN LEVEL OR 1/2" WITH BEVEL. PROVIDE 5% MAX GUTTER PAN SLOPE.

(AD-05) REMOVE EXISTING ± INSTALL NEW SLIP RESISTANT, CONCRETE IN-LINE CURB RAMP AS SHOWN & PER DETAIL 9/SD1. SLOPE IN DIRECTION OF TRAVEL TO BE 0.8% MAX WITH 1.5% MAX CROSS SLOPE. PROVIDE 5'-0" MIN DEEP X FULL RAMP WIDTH TOP & BOTTOM LANDINGS WITH 1.5% MAX SLOPE IN ALL DIRECTIONS. ENSURE TOP AND BOTTOM TRANSITIONS ARE FLUSH WITH 1/4" MAX CHANGE IN LEVEL OR 1/2" WITH BEVEL. PROVIDE 5% MAX GUTTER PAN SLOPE.

(AD-06) REMOVE EXISTING SIDEWALK TO EXTENT SHOWN & INSTALL NEW WITH A SLIP RESISTANT BROOM FINISH. PROVIDE MAX 5% SLOPE IN DIRECTION OF TRAVEL & 1.5% MAX CROSS SLOPE. PROVIDE 5'-0" LANDING WITH MAX 1.5% SLOPE IN ALL DIRECTIONS AT EACH DOOR & CHANGE OF DIRECTION. THERE IS NO CHANGE OF LEVEL OR THRESHOLD GREATER THAN 1/4" OR 1/2" WITH BEVEL. SEE DETAILS 8/SD1 & 11/SD1. REMOVE & REPLACE CONCRETE CURBS ALONG AREA OF NEW WORK. FLOAT ASPHALT AT AREAS OF PARKING LOT ADJACENT TO NEW CURBS AS NECESSARY TO MAINTAIN TYPICAL 6" MAX CURB. PROVIDE APPROPRIATE GRADED NON-ABRUPT TRANSITION TO EXISTING ASPHALT PARKING LOT. EXTENT SHOWN IS ASSUMED MIN WORK FOR ACCESSIBILITY COMPLIANCE. GO TO VERIFY WITH EXISTING CONDITIONS & CONFIRM EXTENT OF WORK WITH McDONALD'S CONSTRUCTION MANAGER.

(AD-07) SEE FLOOR PLAN.

(AD-08) REMEDIATION OCCURS IN **(SP-08)**

(AD-09) THRU **(AD-16)** SEE FLOOR PLAN.

(AD-17) REMOVE EXTERIOR TABLE & ASSOCIATED SEATING.

1. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
2. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
3. FINISH WALK AND CURB ELEVATIONS SHALL BE 6' ABOVE FINISH PAVEMENT.

(SP-01) REMOVE EXISTING & INSTALL (2) NEW DIGITAL MENU BOARDS AS SHOWN. SEE DETAIL 2/D.T/I.0 FOR EXACT LOCATIONS AND 0/D.T/I.1. LOCATE EXISTING UTILITIES PRIOR TO EXCAVATING FOOTINGS.

(SP-02) REMOVE EXISTING CUSTOMER ORDER DISPLAY & INSTALL (2) CUSTOMER ORDER CANOPIES AS SHOWN PER DETAIL 6/D.T/I.2. SEE DETAIL 2/D.T/I.0 FOR EXACT LOCATIONS. LOCATE EXISTING UTILITIES PRIOR TO EXCAVATING FOOTINGS.

(SP-03) INSTALL NEW VEHICLE DETECTOR LOOPS AT NEW ORDER POINTS PER 2/D.T/I.0. (OPTIONAL AT DRIVE THRU BOOTH) PATCH & REPAIR CONCRETE PAD AT DRIVE-THRU AS NECESSARY. SEE 18/D.T/I.1 & 20 D.T/I.1.

(SP-04) REMOVE EXISTING & INSTALL (1) NEW GATEWAY SIGN PACKAGE AS SHOWN. COORDINATE LOCATION WITH McDONALD'S CONSTRUCTION MANAGER TO ENSURE BEST VISIBILITY FROM SITE ENTRANCE. SEE DETAIL 8/D.T/I.2 FOR MORE INFO. LOCATE UNDERGROUND UTILITIES PRIOR TO EXCAVATION.

(SP-05) REMOVE EXISTING & INSTALL NEW PRE-BRONZE MENU BOARD PER DETAIL 12/D.T/I.1. VERIFY LOCATION WITH McDONALD'S CONSTRUCTION MANAGER & DETAIL 2/D.T/I.0.

(SP-06) INSTALL SPEECH/HEARING IMPAIRED SIGNAGE ON THE DRIVE-THRU G.O.D. & EACH DRIVE-THRU SERVICE WINDOW. SEE DETAILS 7/S/D/1 & 9/A4.4. PICTURE MENU, CLIPBOARD AND PENCILS ARE TO BE PROVIDED AT EACH DRIVE-THRU WINDOW.

(SP-07) PATCH AND REPAIR EXISTING LANDSCAPE AS NECESSARY TO ACCOMMODATE DEMOLITION AND NEW CONSTRUCTION. NEW LANDSCAPING TO MATCH EXISTING ADJACENT. ENSURE PLANTINGS DO NOT INHIBIT VIEW TO DRIVE THRU SIGNS.

(SP-08) DESIGNATED PLANT FORWARD PARKING STALLS & SIGNAGE PER McDONALD'S STANDARDS. RELOCATE EXISTING SIGNS TO REMAIN; PROTECT FROM DAMAGE. RESTRIPE STALLS TO BE (2) COATS TRAFFIC YELLOW.

(SP-09) REMOVE EXISTING ASPHALT PAVING FOR INSTALLATION OF NEW CONCRETE PAD AT ACCURABLE PARKING STALLS. ACCESS AISLE & CROSSWALK. COORDINATE WITH AD-OI FOR REQUIRED SLOPES. ENSURE FLUSH TRANSITION TO ADJACENT ASPHALT.

(SP-10) INSTALL CONCRETE WHEELSTOPS AT LOCATIONS SHOWN. SEE DETAIL 12/S/D/1.

(SP-11) PATCH AND REPAIR EXISTING ASPHALT PAVING FOR INSTALLATION OF NEW CONSTRUCTION SEED COAT ALL ASPHALT WITH NEW ASPHALTIC LAYER. STRIPE PARKING STALLS AND SYMBOLS AS SHOWN. PAINTS TO BE TRAFFIC WHITE (2 COATS) AT PARKING AND TRAFFIC YELLOW (2 COATS) AT DRIVE-THRU. SEE DETAIL 15/S/D/1, 2/S/D/1 & 3/S/D/1.

(SP-12) REMOVE EXISTING GUARDRAIL FOR INSTALLATION OF NEW CONSTRUCTION. REINSTALL PER DETAIL 10/S/D/1. VERIFY REUSE WITH McDONALD'S CONSTRUCTION MANAGER. INSTALL PER McDONALD'S SPECIFICATIONS. FINISH PER ELEVATIONS. ENSURE 18" CLEAR PROVIDED AT DOOR LATCH.

(SP-13) APPROXIMATE LINE OF NEW CONCRETE WORK TO EXISTING CONCRETE TO REMAIN.

(SP-14) APPROXIMATE LINE OF CONCRETE PAD TO ASPHALT TRANSITION.

(SP-15) EXISTING ROAD SIGN TO REMAIN. PROTECT FROM DAMAGE.

(SP-16) EXISTING DIRECTIONAL SIGN TO REMAIN. PROTECT FROM DAMAGE.

(SP-17) EXISTING FLAG POLE TO REMAIN. VERIFY IF LIGHT FOR FLAG POLE IS MOUNTED TO BUILDING. IF EXISTS, REMOVE & REINSTALL TO ACCOMMODATE NEW CONSTRUCTION. EXISTING LOT LIGHTING TO REMAIN.

(SP-18) EXISTING BOLLARDS, PROTECT FROM DAMAGE. FINISH PER ELEVATIONS.

(SP-20) NOT USED

(SP-21) EXISTING ELECTRICAL METER ASSEMBLY TO REMAIN. PROTECT FROM DAMAGE.

(SP-22) EXISTING CATCH BASIN TO REMAIN.

(SP-23) NOT USED

(SP-24) EXISTING TRANSFORMER TO REMAIN. PROTECT FROM DAMAGE.

(SP-25) EXISTING MANHOLE TO REMAIN.

(SP-26) REMOVE EXISTING BOLLARD.

(SP-27) PROVIDE MERGE POINT MONITOR MOUNTED ON POLE WITH FOUNDATION; EXACT LOCATION TO BE COORDINATED WITH McDONALD'S CONSTRUCTION MANAGER. PROVIDE 2" CONDUIT TO CASH BOX JUNCTION BOX. CONNECT TO ELECTRICAL AND DATA SYSTEMS.

(SP-28) REMOVE AND RELOCATE EXISTING LOT LIGHT TO NEW LOCATION SHOWN. VERIFY EXACT LOCATION WITH McDONALD'S CONSTRUCTION MANAGER. SEE DETAIL XXXXXX

(SP-29) REMOVE EXISTING ASPHALT, LANDSCAPING, AND CONCRETE CURBS & SIDEWALKS AS NECESSARY TO ACCOMMODATE NEW CONCRETE PAVING AND CURBING THROUGHOUT DRIVE THRU LANES AS SHOWN. PER McDONALD'S SPECIFICATIONS. SLOPE TO DRAIN AS NECESSARY. SEE DETAILS 2, 3, AND 4/D.T/I.1.

(SP-30) NEW BROOM FINISH CONCRETE SIDEWALK AND CURB RAMP AS SHOWN TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE WITH AD-O6 FOR CURB RAMP REQUIREMENTS AND AD-O6 FOR SIDEWALK REQUIREMENTS. ENSURE FLUSH TRANSITION TO EXISTING.

(SP-31) NEW LANDSCAPING TO MATCH ADJACENT AND AS REQUIRED BY JURISDICTION REQUIREMENTS. ENSURE PLANTING WILL NOT INHIBIT VIEW OF DRIVE THRU AND DIRECTIONAL SIGNAGE FROM CUSTOMERS.

- (A) "WELCOME" GATEWAY SIGN (1 NEW)
- (B) CUSTOMER ORDER CANOPY (2 NEW)
- (C) DIGITAL MENU BOARD (2 NEW)
- (D) PULL FORWARD STALL SIGNS (2 EXISTING)
- (E) PRE-BROWSE BOARD (2 NEW)
- (F) MOBILE PICK UP STALL SIGN (2 EXISTING)
- (G) "ANY LANE, ANY TIME" SIGN (1 NEW)

	EXISTING CONCRETE CURBING TO REMAIN/ REPAIR
	NEW CONCRETE CURBING
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	NEW STRIPING
	EXISTING LANDSCAPING TO REMAIN
	NEW LANDSCAPING
	EXISTING CONCRETE TO REMAIN
	NEW CONCRETE
	EXISTING LOT LIGHT

PAVING SPECIFICATION (MINIMUM 3" TOTAL COMPACTED ASPHALT THICKNESS)

NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

EXISTING LOT LIGHTS TO REMAIN. VERIFY WITH McDONALD'S CONSTRUCTION
MANAGER IF CLEAN/RELAMP OR NO WORK DURING THIS PROJECT.

TOTAL SPACES 44	3	9'-0" x 20'-0" SPACES @ 90°
	6	7'-6" x 15'-4" COMPACT SPACES @ 60°
	31	9'-0" x 18'-0" SPACES @ 60°
	2	9'-0" x 18'-0" SPACES @ 80°
	2	ADA 9'-0" x 18'-0" SPACES @ 60°

	SIZE	TYPE	LOCATION
SANITARY SEWER	EXISTING		
WATER	EXISTING		
STORM SEWER	EXISTING		
ELECTRIC	EXISTING		
GAS	EXISTING		

STREET ADDRESS
501 HIGH SCHOOL ROAD NE

CORPORATE DWG. NO.

11367

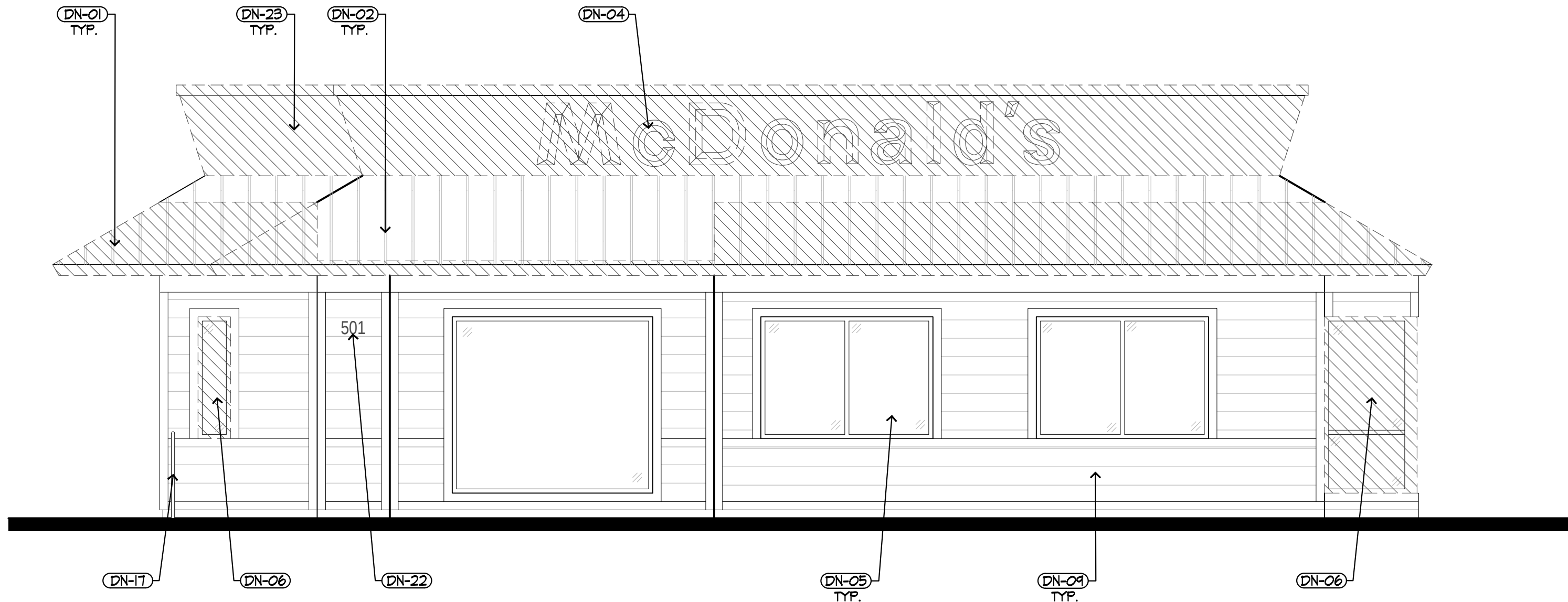
PREPARED BY:

FREIHEIT

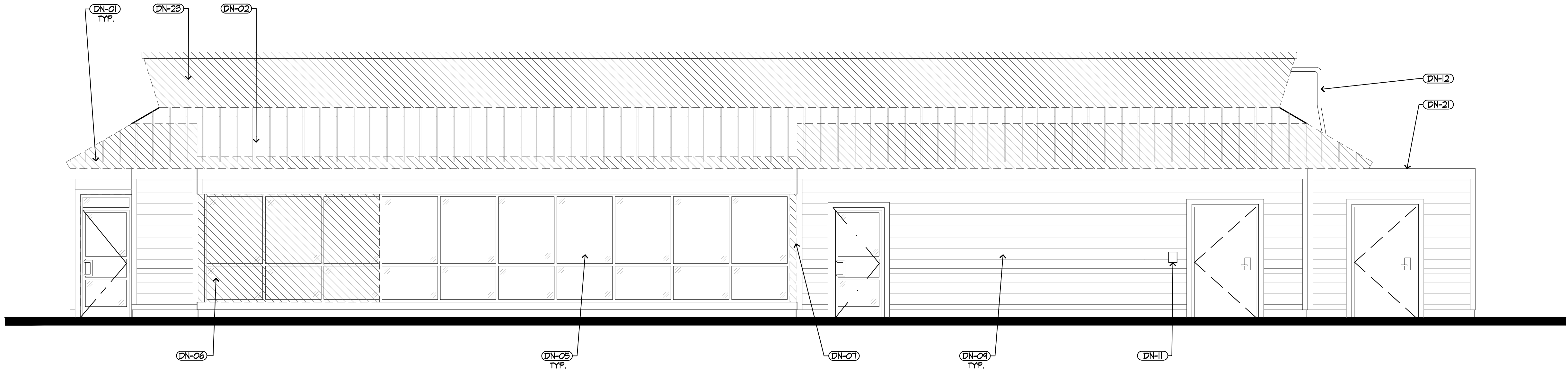
ARCHITECTURE

M. McDonald's USA, LLC
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SHEET NO.	TITLE	DRAWN BY
A18-339	2019 MRP REMODEL CORE 16	STP ISSUE DATE: MAR 2017
DESCRIPTION	REVIEWED BY:	JLT
STEEL TRUSS & METAL DECKING ROOF FRAMING	DATE ISSUED	10/2/2018
CEMENT BOARD LAP SIDING EXTERIOR FINISH ARCADE/BENCH	PROJECT	2018
SITE ID	SITE ADDRESS	



1
D1.1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2
D1.1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

DEMO ELEVATION KEYNOTES

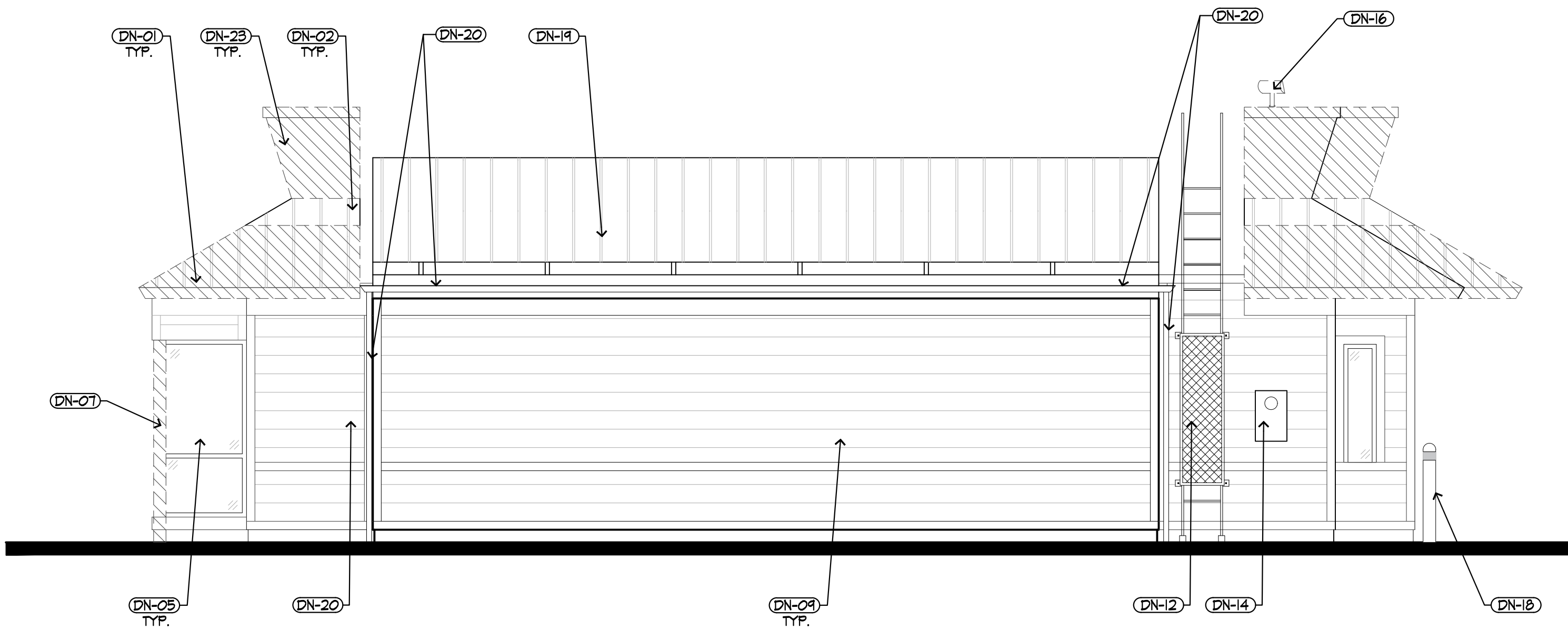
- DN-01** REMOVE EXISTING MANSARD ROOF OVERHANG PROJECTION TO ALIGN WITH WALL BELOW. REMOVE ALL ASSOCIATED SOFFIT LIGHT FIXTURES & CAP UTILITIES BEHIND WALL AS NECESSARY.
- DN-02** REMOVE EXISTING ROOFING FINISHES DOWN TO EXISTING SHEATHING AT PORTION OF MANSARD TRUSSES REMAINING.
- DN-03** NOT USED.
- DN-04** REMOVE EXISTING BUILDING SIGNAGE. VERIFY WITH OWNER IF SALVAGEABLE.
- DN-05** REMOVE ALL LOGO STICKERS AND DECALS FROM ALL WINDOWS AND DOORS.
- DN-06** REMOVE EXISTING STOREFRONT & FRAME AS SHOWN TO ACCOMMODATE NEW CONSTRUCTION. VERIFY SALVAGE OR DISPOSAL WITH McDONALD'S AREA CONSTRUCTION MANAGER. SEE DEMOLITION & FLOOR PLANS FOR EXTENT OF WORK.
- DN-07** REMOVE PORTION OF EXTERIOR WALL AS SHOWN TO ACCOMMODATE NEW CONSTRUCTION. SEE DEMOLITION & FLOOR PLAN FOR EXTENT OF WORK.
- DN-08** NOT USED.
- DN-09** REMOVE ALL EXISTING SIDING & TRIM FOR INSTALLATION OF NEW. VERIFY CONDITION OF EXISTING SHEATHING & M.R.B./ A.B.; REPAIR/ REPLACE AS NECESSARY. EXISTING SIDING IS NOT TO BE USED AT SHEATHING. IF NO SHEATHING EXISTS, G.C. TO PROVIDE NEW EXTERIOR GRADE PLYWOOD SHEATHING.
- DN-10** NOT USED.
- DN-11** EXISTING BULK OIL FILL BOX TO REMAIN; PROTECT FROM DAMAGE.
- DN-12** EXISTING ROOF LADDER TO REMAIN. REMOVE & REINSTALL FOR INSTALLATION OF NEW SIDING.
- DN-13** NOT USED.
- DN-14** EXISTING ELECTRICAL METER ASSEMBLY TO REMAIN. PROTECT FROM DAMAGE.
- DN-15** NOT USED.
- DN-16** REMOVE EXISTING SECURITY CAMERAS TO ACCOMMODATE NEW CONSTRUCTION. REINSTALL PER OWNER'S DIRECTION.

- DN-17** REMOVE EXISTING GUARDRAIL. VERIFY REUSE, SALVAGE, OR DISPOSAL WITH McDONALD'S CONSTRUCTION MANAGER.
- DN-18** EXISTING BOLLARD TO REMAIN; PROTECT FROM DAMAGE.
- DN-19** REMOVE EXISTING SCREEN WALL FOR INSTALLATION OF NEW. PROTECT EXISTING SLEEPERS FOR REUSE.
- DN-20** EXISTING GUTTER & DOWNSPOUT TO REMAIN. REMOVE & REINSTALL FOR INSTALLATION OF NEW SIDING.
- DN-21** VERIFY CONDITION OF FLASHING & REPLACE IF NECESSARY.
- DN-22** REMOVE EXISTING ADDRESS NUMBERS TO ACCOMMODATE NEW CONSTRUCTION. REINSTALL PER DIRECTION FROM McDONALD'S CONSTRUCTION MANAGER & FIRE MARSHAL.
- DN-23** REMOVE EXISTING DECORATIVE BRANDED PARAPET STRUCTURE.

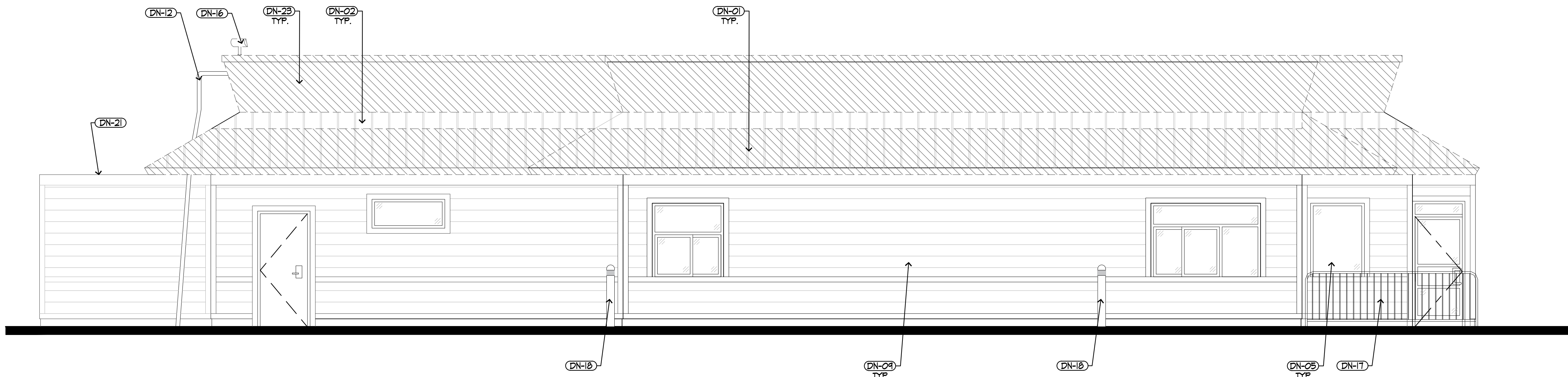
DEMOLITION GENERAL NOTES

- THESE DRAWINGS WERE PREPARED BASED ON INFORMATION ATTAINED FROM A SITE SURVEY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION & NOTIFY THIS OFFICE IN CASE OF DISCREPANCIES ASAP. DEMOLITION IS TO BE EXECUTED SO AS NOT TO DISTURB EXISTING STRUCTURAL & ROOFING SYSTEMS, AND OTHER AREAS THAT ARE INTENDED TO REMAIN INTACT. VERIFY ALL CONSTRUCTION TO BE REMOVED THAT IS NOT INTEGRAL TO STRUCTURAL SYSTEM PRIOR TO DEMOLITION.
- ALL DIMENSIONS SHOWN AS EXISTING SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO DEMOLITION. VERIFY ALL DEMOLITION WORK W/ NEW CONSTRUCTION & INSTALLATION DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
- DEMOLITION CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DOCUMENTS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK. BY THE ACT OF STARTING DEMOLITION, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING, TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE THE NECESSARY ALLOWANCES IN PREPARING HIS BID.
- ELECTRICAL DEMOLITION NOTE: REFER TO ELECTRICAL DRAWINGS FOR DETAILED ELECTRICAL DEMOLITION NOTES.
- VERIFY DISPOSITION OF ALL FURNISHINGS, MILLWORK, LIGHTING FIXTURES, ETC. TO BE REMOVED W/ OWNER. ALL ITEMS TO BE DISPOSED SHALL BE DISPOSED OF OFF-SITE AND IN AN EXPEDITIOUS MANNER.
- ROOFING CONTRACTOR TO FIELD INSPECT EXISTING ROOF FOR WEATHER TIGHTNESS & PROPER DRAINAGE PRIOR TO BID. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING ROOF CONDITION AND FOR INCLUDING ANY NECESSARY REPAIR COSTS IN BID.
- SAWCUT & REMOVE EXISTING SLABS AS REQUIRED FOR UNDERGROUND ELECTRICAL & PLUMBING LINES. REFER TO PLUMBING, ELECTRICAL, & KITCHEN DRAWINGS FOR ALL SAWCUTS & TRENCHING WORK REQUIRED. ALL CONCRETE FLOOR WORK TO BE FINISHED FLUSH WITH EXISTING FLOOR. DOWEL NEW SLABS TO EXISTING W/ #4 REBAR @ 24" O.C. EACH SIDE (STAGGERED). REBAR TO EXTEND 6" INTO EXISTING SLAB & ACROSS CUT OPENING. SECURE REBAR INTO EXISTING SLAB W/ EPOXY GROUT. REPLACE OR REPAIR ANY VAPOR BARRIERS DISTURBED DURING EXCAVATIONS.
- CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACINGS AS REQUIRED TO MAINTAIN STRUCTURAL STABILITY OF THE EXISTING STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
- PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING WALLS, FLOORS, CEILINGS, ETC. THAT ARE TO REMAIN. CONTRACTOR TO PATCH & REPAIR ANY DAMAGED PORTIONS OF THE EXISTING BUILDING AS REQUIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION & FINISHES.
- WHEN UTILITIES ARE REMOVED, CAP & SEAL A MINIMUM OF 8" BELOW FINISH FLOOR OR A MINIMUM OF 6" ABOVE FINISH CEILING.
- THIS PLAN INDICATES A GENERAL SCOPE OF WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR TO COMPLETE THE BUILDING MODIFICATIONS AS SHOWN AND REQUIRED BY THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL, & HVAC WORK.
- IF CONTRACTOR ENCOUNTERS ANY HAZARDOUS MATERIALS DURING DEMOLITION OR CONSTRUCTION HE SHALL IMMEDIATELY SUSPEND WORK & NOTIFY THE McDONALD'S PROJECT MANAGER BEFORE PROCEEDING.
- ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER & IN STRICT ACCORDANCE WITH OSHA REGULATIONS.
- THE SUB-CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION. THE WORK INCLUDES, BUT IS NOT LIMITED TO THE DEMOLITION AND REMOVAL OF ANY WALLS, COUNTERS, FURNITURE, BULKHEADS, DOORS, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS INCLUDING CONDUITS AND DUCTWORK AS SHOWN ON THE DRAWINGS OR AS REQUIRED TO COMPLETE THE INSTALLATION OF THE NEW WORK FOR A COMPLETE JOB.
- REMOVE ANY SINKS, WATER CLOSETS, URINALS, LAVATORIES, FLOOR DRAINS, NOTED ON DRAWINGS AS WELL AS ALL ASSOCIATED PLUMBING ACCESSORIES. CAP PLUS ALL ABANDONED SUPPLY & WASTE LINES. PATCH & SEAL ALL FLOOR PENETRATIONS. SEE MECHANICAL & PLUMBING DRAWINGS FOR DETAILED DEMOLITION NOTES.
- ELEVATION HEIGHTS SHOWN ARE FOR REFERENCE ONLY.
- CONTRACTOR RESPONSIBLE TO ENSURE ALL NEW FINISHES IN RESTROOMS WILL NOT REDUCE REQUIRED CLEARANCES FOR ACCESSIBILITY. REFRAME WALLS AS NECESSARY TO ENSURE ALL CLEARANCES ARE MET.

DRAWN BY		STD	ISSUE DATE	REVIEWED BY	DATE ISSUED	TITLE		SHEET NO.	
JLT		MAR	2017	JLT	OCT	2018 MRP REMODEL		A18-339	
JLT		DESCRIPTION		CORE 16		STEEL TRUSS & METAL DECKING ROOF FRAMING		11367	
JLT		DESCRIPTION		CORE 16		CEMENT BOARD LAP SIDING EXTERIOR FINISH ARCADE/ENTRY		D1.1	
JLT		DESCRIPTION		CORE 16		SITE ADDRESS		46-0199	
JLT		DESCRIPTION		CORE 16		501 HIGH SCHOOL RD NE, BAINBRIDGE, WA 98110		DEMO ELEVATIONS	
JLT		DESCRIPTION		CORE 16		PREPARED BY		© 2018 McDonald's Corporation	
JLT		DESCRIPTION		CORE 16		M. McDonald's USA, LLC		These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by McDonald's USA, LLC and shall not be used for any other project. Use of these drawings for reference or example on another project requires the use of the contract documents for reuse on another project is not authorized.	
JLT		DESCRIPTION		CORE 16		FREIHEIT ARCHITECTURE			
JLT		DESCRIPTION		CORE 16		PERMIT SUBMITTAL		FHA	
JLT		DESCRIPTION		CORE 16		LEGAL CLEARANCE		FHA	
JLT		DESCRIPTION		CORE 16		DATE		BY	
JLT		DESCRIPTION		CORE 16		REV		DESCRIPTION	



1
D1.2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2
D1.2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

DEMO ELEVATION KEYNOTES

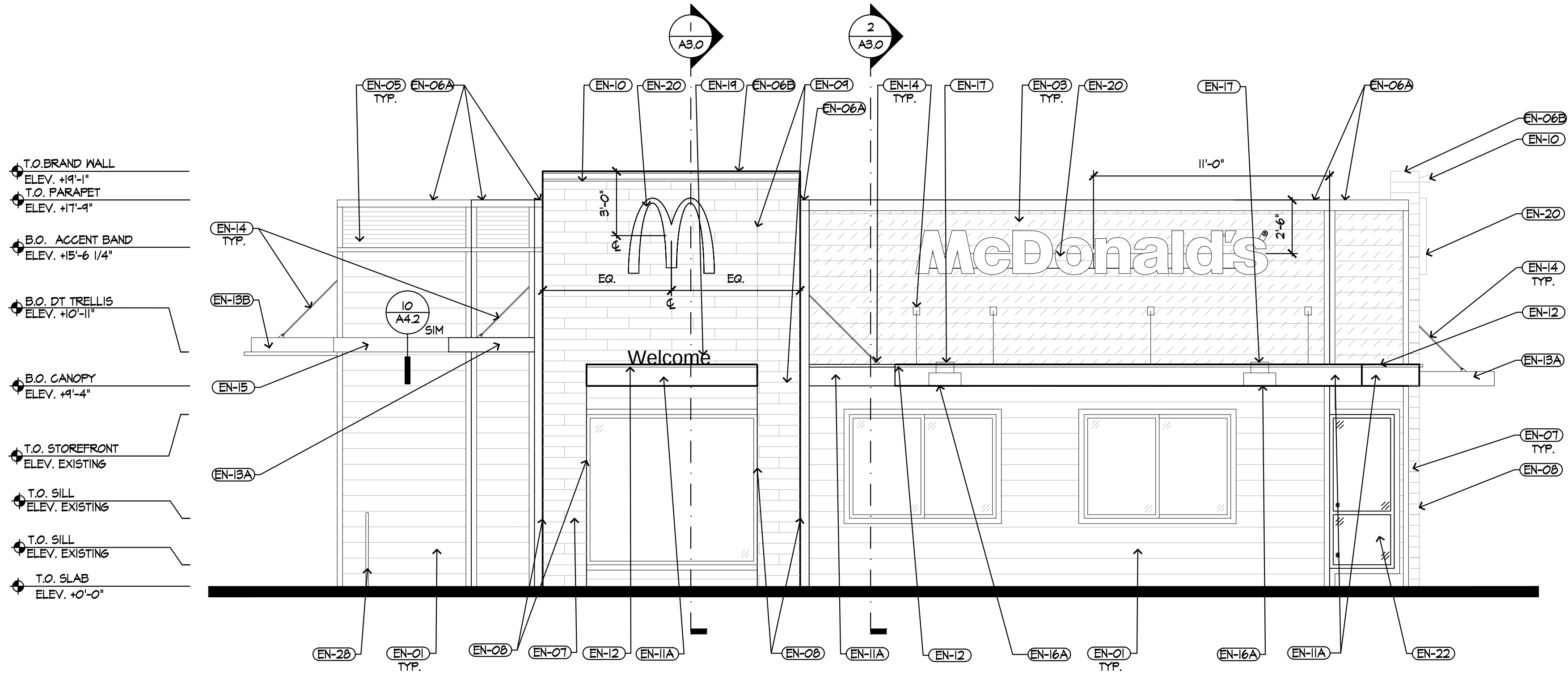
- DN-01** REMOVE EXISTING MANSARD ROOF OVERHANG PROJECTION TO ALIGN WITH WALL BELOW. REMOVE ALL ASSOCIATED SOFFIT LIGHT FIXTURES & CAP UTILITIES BEHIND WALL AS NECESSARY.
- DN-02** REMOVE EXISTING ROOFING FINISHES DOWN TO EXISTING SHEATHING AT PORTION OF MANSARD TRUSSES REMAINING.
- DN-03** NOT USED.
- DN-04** REMOVE EXISTING BUILDING SIGNAGE. VERIFY WITH OWNER IF SALVAGEABLE.
- DN-05** REMOVE ALL LOGO STICKERS AND DECALS FROM ALL WINDOWS AND DOORS.
- DN-06** REMOVE EXISTING STOREFRONT & FRAME AS SHOWN TO ACCOMMODATE NEW CONSTRUCTION. VERIFY SALVAGE OR DISPOSAL WITH McDONALD'S AREA CONSTRUCTION MANAGER. SEE DEMOLITION & FLOOR PLANS FOR EXTENT OF WORK.
- DN-07** REMOVE PORTION OF EXTERIOR WALL AS SHOWN TO ACCOMMODATE NEW CONSTRUCTION. SEE DEMOLITION & FLOOR PLAN FOR EXTENT OF WORK.
- DN-08** NOT USED.
- DN-09** REMOVE ALL EXISTING SIDING & TRIM FOR INSTALLATION OF NEW. VERIFY CONDITION OF EXISTING SHEATHING & P/LB/ A.B.; REPAIR/ REPLACE AS NECESSARY. EXISTING SIDING IS NOT TO BE USED AT SHEATHING. IF NO SHEATHING EXISTS, G.C. TO PROVIDE NEW EXTERIOR GRADE PLYWOOD SHEATHING.
- DN-10** NOT USED.
- DN-11** EXISTING BULK OIL FILL BOX TO REMAIN; PROTECT FROM DAMAGE.
- DN-12** EXISTING ROOF LADDER TO REMAIN. REMOVE & REINSTALL FOR INSTALLATION OF NEW SIDING.
- DN-13** NOT USED.
- DN-14** EXISTING ELECTRICAL METER ASSEMBLY TO REMAIN. PROTECT FROM DAMAGE.
- DN-15** NOT USED.
- DN-16** REMOVE EXISTING SECURITY CAMERAS TO ACCOMMODATE NEW CONSTRUCTION. REINSTALL PER OWNER'S DIRECTION.

- DN-17** REMOVE EXISTING GUARDRAIL. VERIFY REUSE, SALVAGE, OR DISPOSAL WITH McDONALD'S CONSTRUCTION MANAGER.
- DN-18** EXISTING BOLLARD TO REMAIN; PROTECT FROM DAMAGE.
- DN-19** REMOVE EXISTING SCREEN WALL FOR INSTALLATION OF NEW. PROTECT EXISTING SLEEPERS FOR REUSE.
- DN-20** EXISTING GUTTER & DOWNSPOUT TO REMAIN. REMOVE & REINSTALL FOR INSTALLATION OF NEW SIDING.
- DN-21** VERIFY CONDITION OF FLASHINGS & REPLACE IF NECESSARY.
- DN-22** REMOVE EXISTING ADDRESS NUMBERS TO ACCOMMODATE NEW CONSTRUCTION. REINSTALL PER DIRECTION FROM McDONALD'S CONSTRUCTION MANAGER & FIRE MARSHAL.
- DN-23** REMOVE EXISTING DECORATIVE BRANDED PARAPET STRUCTURE.

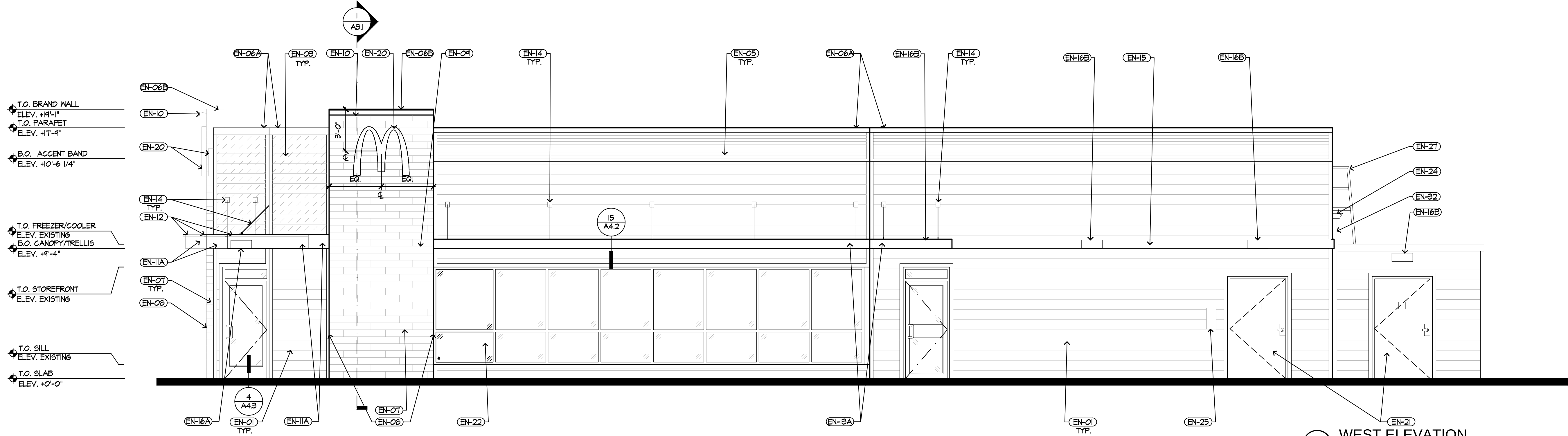
DEMOLITION GENERAL NOTES

- THESE DRAWINGS WERE PREPARED BASED ON INFORMATION ATTAINED FROM A SITE SURVEY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION & NOTIFY THIS OFFICE IN CASE OF DISCREPANCIES ASAP. DEMOLITION IS TO BE EXECUTED SO AS NOT TO DISTURB EXISTING STRUCTURAL & ROOFING SYSTEMS, AND OTHER AREAS THAT ARE INTENDED TO REMAIN INTACT. VERIFY ALL CONSTRUCTION TO BE REMOVED THAT IS NOT INTEGRAL TO STRUCTURAL SYSTEM PRIOR TO DEMOLITION.
- ALL DIMENSIONS SHOWN AS EXISTING SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO DEMOLITION. VERIFY ALL DEMOLITION WORK W/ NEW CONSTRUCTION & INSTALLATION DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
- DEMOLITION CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DOCUMENTS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK. BY THE ACT OF STARTING DEMOLITION, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING, TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE THE NECESSARY ALLOWANCES IN PREPARING HIS BID.
- ELECTRICAL DEMOLITION NOTE: REFER TO ELECTRICAL DRAWINGS FOR DETAILED ELECTRICAL DEMOLITION NOTES.
- VERIFY DISPOSITION OF ALL FURNISHINGS, MILLWORK, LIGHTING FIXTURES, ETC. TO BE REMOVED W/ OWNER. ALL ITEMS TO BE DISPOSED SHALL BE DISPOSED OF OFF-SITE AND IN AN EXPEDITIOUS MANNER.
- ROOFING CONTRACTOR TO FIELD INSPECT EXISTING ROOF FOR WEATHER TIGHTNESS & PROPER DRAINAGE PRIOR TO BID. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING ROOF CONDITION AND FOR INCLUDING ANY NECESSARY REPAIR COSTS IN BID.
- SAWCUT & REMOVE EXISTING SLABS AS REQUIRED FOR UNDERGROUND ELECTRICAL & PLUMBING LINES. REFER TO PLUMBING, ELECTRICAL & KITCHEN DRAWINGS FOR ALL SAWCUTS & TRENCHING WORK REQUIRED. ALL CONCRETE FLOOR WORK TO BE FINISHED FLUSH WITH EXISTING FLOOR. DOWEL NEW SLABS TO EXISTING W/ #4 REBAR @ 24" O.C. EACH SIDE (STAGGERED). REBAR TO EXTEND 6" INTO EXISTING SLAB & ACROSS CUT OPENING. SECURE REBAR INTO EXISTING SLAB W/ EPOXY GROUT. REPLACE OR REPAIR ANY VAPOR BARRIERS DISTURBED DURING EXCAVATIONS.
- CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACINGS AS REQUIRED TO MAINTAIN STRUCTURAL STABILITY OF THE EXISTING STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
- PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING WALLS, FLOORS, CEILINGS, ETC. THAT ARE TO REMAIN. CONTRACTOR TO PATCH & REPAIR ANY DAMAGED PORTIONS OF THE EXISTING BUILDING AS REQUIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION & FINISHES.
- WHEN UTILITIES ARE REMOVED, CAP & SEAL A MINIMUM OF 8" BELOW FINISH FLOOR OR A MINIMUM OF 6" ABOVE FINISH CEILING.
- THIS PLAN INDICATES A GENERAL SCOPE OF WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR TO COMPLETE THE BUILDING MODIFICATIONS AS SHOWN AND REQUIRED BY THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL & HVAC WORK.
- IF CONTRACTOR ENCOUNTERS ANY HAZARDOUS MATERIALS DURING DEMOLITION OR CONSTRUCTION HE SHALL IMMEDIATELY SUSPEND WORK & NOTIFY THE McDONALD'S PROJECT MANAGER BEFORE PROCEEDING.
- ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER & IN STRICT ACCORDANCE WITH OSHA REGULATIONS.
- THE SUB-CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION THE WORK INCLUDES, BUT IS NOT LIMITED TO THE DEMOLITION AND REMOVAL OF ANY WALLS, COUNTERS, FURNITURE, BULKHEADS, DOORS, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS INCLUDING CONDUITS AND DUCTWORK AS SHOWN ON THE DRAWINGS OR AS REQUIRED TO COMPLETE THE INSTALLATION OF THE NEW WORK FOR A COMPLETE JOB.
- REMOVE ANY SINKS, WATER CLOSETS, URINALS, LAVATORIES, FLOOR DRAINS, NOTED ON DRAWINGS AS WELL AS ALL ASSOCIATED PLUMBING ACCESSORIES. CAP PLUS ALL ABANDONED SUPPLY & WASTE LINES. PATCH & SEAL ALL FLOOR PENETRATIONS. SEE MECHANICAL & PLUMBING DRAWINGS FOR DETAILED DEMOLITION NOTES.
- ELEVATION HEIGHTS SHOWN ARE FOR REFERENCE ONLY.
- CONTRACTOR RESPONSIBLE TO ENSURE ALL NEW FINISHES IN RESTROOMS WILL NOT REDUCE REQUIRED CLEARANCES FOR ACCESSIBILITY. REFRAME WALLS AS NECESSARY TO ENSURE ALL CLEARANCES ARE MET.

PREPARED FOR:		PREPARED BY:		REV		DATE		DESCRIPTION	
M. McDonald's USA, LLC		FREIHEIT ARCHITECTURE		-		12/28/2018		PERMIT SUBMITTAL	
© 2018 McDonald's Corporation		-		-		-		LEGAL CLEARANCE	
These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by the architect and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the approval of the architect. The contract documents for reuse on another project is not authorized.		-		-		-		BY	
DRAWN BY:		STD ISSUE DATE:		REVIEWED BY:		DATE ISSUED:		TITLE:	
JLT		MAR 2017		JLT		OCT 2018		2018 MRP REMODEL	
DESCRIPTION:		CORE 16		STEEL TRUSSES & METAL DECKING ROOF FRAMING		CEMENT BOARD LAP SIDING EXTERIOR FINISH ARCADE/ENTRY		A18-339	
SITE ID:		46-0199		11.36.7		D1.2		DEMO ELEVATIONS	
SITE ADDRESS:		501 HIGH SCHOOL RD NE, BAINBRIDGE, WA 98110							



1
A2.0
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2
A2.0
WEST ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

- (EN-01) EXISTING CEMENT BOARD LAP SIDING TO REMAIN, PATCH & REPAIR AS NECESSARY TO RECEIVE NEW PAINT. COLOR: BASE BUILDING. SEE SHEET A4.0 FOR TYPICAL DETAILS.
- (EN-02) EXISTING CEMENT BOARD LAP SIDING TO REMAIN. NEW PAINT COLOR: ACCENT COLOR. SEE SHEET A4.3 FOR TYPICAL DETAILS.
- (EN-03) EXISTING CEMENT BOARD LAP SIDING TO REMAIN. NEW PAINT COLOR: ABOVE CANOPY FINISH. SEE SHEET A4.3 FOR TYPICAL DETAILS.
- (EN-04) NOT USED.
- (EN-05) NEW PARAPET ACCENT BAND PER COLOR LEGEND, THIS SHEET.
- (EN-06) METAL FASCIA (COLOR: CITYSCAPE). A: PRE-FAB ANCHOR-TITE; B: PRE-FAB CUSTOM ARCADE FASCIA.
- (EN-07) TILE - SEE COLOR LEGEND, THIS SHEET. CONTACT: JAN DETER, (714) 491-7500.
- (EN-08) OUTSIDE CORNER STRIPS. RONDEC ROIGOTSDA (DARK ANTHRACITE) ALUMINUM, 10MM.
- (EN-09) MOVEMENT JOINT: DILEX ENBIOOGB (BLACK).
- (EN-10) ACCENT LIGHTING (ARCADE LIGHT) - SEE ELECTRICAL.
- (EN-11) 12" HIGH ALUMINUM CANOPY FASCIA BAND (COLOR: WHITE) ON ALUMINUM TRELLIS SYSTEM (COLOR: WHITE) A: NO UNDERScore; B: GOLD UNDERScore.
- (EN-12) ACCENT LIGHTING (INTEGRAL CANOPY LIGHT) - SEE ELECTRICAL.
- (EN-13) ALUMINUM TRELLIS. A: COLOR: CITYSCAPE. B: COLOR: CHARCOAL WITH GOLD UNDERScore.
- (EN-14) ALUMINUM TRELLIS TIE-BACK SYSTEM. COLOR: CHARCOAL.
- (EN-15) ALUMINUM TRELLIS 2"x8" WALL FASCIA.
- (EN-16) LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL. A: DOWN ONLY FIXTURE (COLOR: WHITE) B: DOWN ONLY FIXTURE (COLOR: SILVER).
- (EN-17) ACCENT LIGHTING (FLOOD LIGHT) - SEE ELECTRICAL.
- (EN-18) LIGHT FIXTURE (RECESSED DOWN, INTEGRAL CANOPY). COLOR: GOLD - SEE ELECTRICAL.
- (EN-19) METAL LETTERING - BY OTHERS. (WELCOME - COLOR: SILVER)

- (EN-20) McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- (EN-21) HOLLOW METAL DOOR & FRAME - PAINT TO MATCH COLOR OF SURROUNDINGS MATERIAL.
- (EN-22) NEW STOREFRONT TO MATCH EXISTING PER SCHEDULE (10" MIN. BOTTOM STILE @ DOORS).
- (EN-23) (RMHC) COIN COLLECTOR. SEE DETAIL 12/A4.3
- (EN-24) EXISTING GUTTER & DOWNSPOUTS TO REMAIN. PAINT TO MATCH ADJACENT FINISH.
- (EN-25) EXISTING CO2 FILL BOX TO REMAIN.
- (EN-26) NOT USED.
- (EN-27) EXISTING ROOF LADDER TO REMAIN. PAINT TO MATCH BASE BUILDING COLOR.
- (EN-28) GUARD RAIL- PAINT TO MATCH SURROUNDING MATERIAL.
- (EN-29) PIPE BOLLARD PER SITE PLAN. FINISH WITH (2) COATS TRAFFIC YELLOW.
- (EN-30) NOT USED.
- (EN-31) EXISTING ELECTRICAL METER ASSEMBLY TO REMAIN.
- (EN-32) VERIFY CONDITIONS OF FLASHING AND REPLACE IF NECESSARY. FINISH TO MATCH ADJACENT SURFACES.

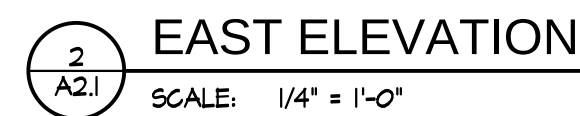
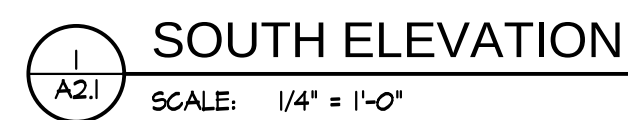
ELEVATION GENERAL NOTES

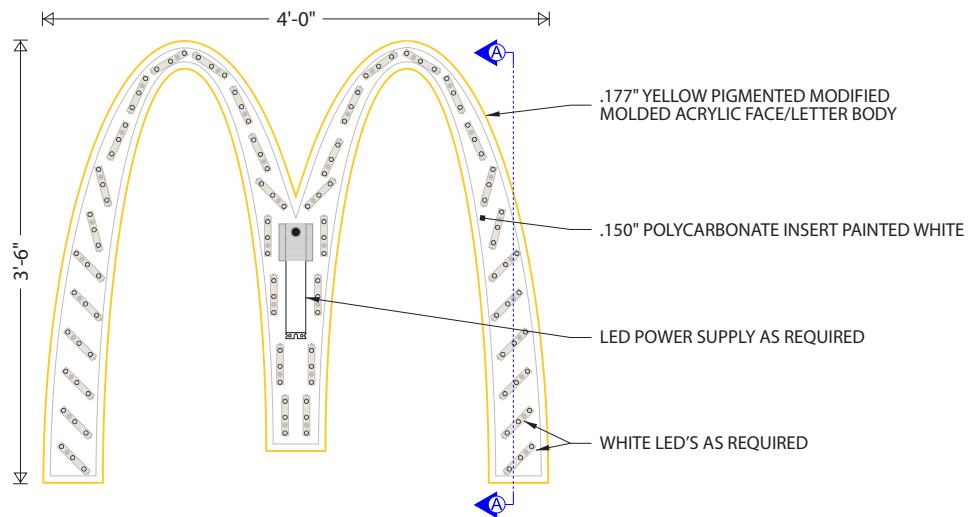
- FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH McDONALD'S AREA CONSTRUCTION MANAGER AND COORDINATED WITH SIGN MANUFACTURER.
- " * " DENOTES SAFETY GLAZING.
- TRASH ENCLOSURE & GATES (NOT SHOWN) TO RECEIVE NEW SIDING TO MATCH BUILDING & BE PAINTED "BASE BUILDING" COLOR.

COLOR LEGEND

- CRAFTSMAN SCHEME
- BRAND WALLS:
- ACCENT BAND:
- LAP SIDING:
- BASE BUILDING:
- ACCENT COLOR:
- ABOVE CANOPY FINISH :
- TILE: EUROWEST: E-WOOD COLLECTION R4 BLACK; SIZE: 6" X 36"
- PATTERN: 1/4" OFFSET RUNNING BOND
- WATERPROOFING & SETTING MATERIAL
- GROUT: BY MAPEI
- GROUT COLOR: ULTRA COLOR PLUS - 41 CHARCOAL
- GROUT WIDTH: 1/8" TO 3/16"
- METAL-ERA CORRUGATED 7/8" X 3" PANEL 24 GAUGE; COLOR: CITYSCAPE
- JAMES HARDIE CEMENT BOARD LAP SIDING, MATCH EXISTING EXPOSURE & FINISH.
- "FAIRVIEW TAUPE" BENJAMIN MOORE #HC-85
- "IRON MOUNTAIN" BENJAMIN MOORE #2134-30
- FIBER CEMENT SIDING NICHIA VINTAGE WOOD COLLECTION CEDAR

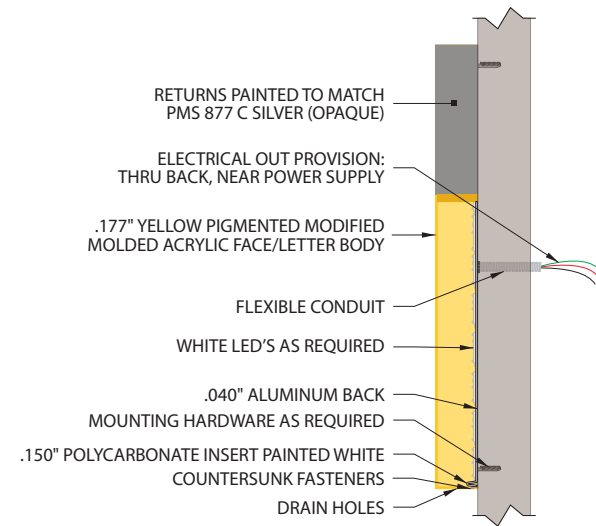
TITLE		2018 MRP REMODEL		CORE 16		DESCRIPTION		STEEL TRUSS & METAL DECKING ROOF FRAMING		CMENT BOARD LAP SIDING EXTERIOR FINISH ARCADE/ENTRY		SITE ADDRESS		501 HIGH SCHOOL RD NE, BAINBRIDGE, WA 98110		46-0199		11.36.7		A2.0		ELEVATIONS	
DRAWN BY		JLT		JLT		JLT		JLT		JLT		JLT		JLT		JLT		JLT		JLT		JLT	
STD ISSUE DATE		MAR 2017		MAR 2017		MAR 2017		MAR 2017		MAR 2017		MAR 2017		MAR 2017		MAR 2017		MAR 2017		MAR 2017		MAR 2017	
REVIEWED BY		JLT		JLT		JLT		JLT		JLT		JLT		JLT		JLT		JLT		JLT		JLT	
DATE ISSUED		OCT 2018		OCT 2018		OCT 2018		OCT 2018		OCT 2018		OCT 2018		OCT 2018		OCT 2018		OCT 2018		OCT 2018		OCT 2018	
DATE		2/28/2018		2/28/2018		2/28/2018		2/28/2018		2/28/2018		2/28/2018		2/28/2018		2/28/2018		2/28/2018		2/28/2018		2/28/2018	
REV		-		-		-		-		-		-		-		-		-		-		-	
DATE		2/28/2018		2/28/2018		2/28/2018		2/28/2018		2/28/2018		2/28/2018		2/28/2018		2/28/2018		2/28/2018		2/28/2018		2/28/2018	
DESCRIPTION		LEGAL CLEARANCE		LEGAL CLEARANCE		LEGAL CLEARANCE		LEGAL CLEARANCE		LEGAL CLEARANCE		LEGAL CLEARANCE		LEGAL CLEARANCE		LEGAL CLEARANCE		LEGAL CLEARANCE		LEGAL CLEARANCE		LEGAL CLEARANCE	
BY		FHA		FHA		FHA		FHA		FHA		FHA		FHA		FHA		FHA		FHA		FHA	
BY		FHA		FHA		FHA		FHA		FHA		FHA		FHA		FHA		FHA		FHA		FHA	





FRAME & LAMP DETAIL

SCALE: 3/4" = 1'-0"



CROSS SECTION A-A

SCALE: 3/4" = 1'-0"



GRAPHIC DETAIL

SCALE: 3/4" = 1'-0"

FRAME DETAIL:

DESIGN FACTOR: TBD

.177" FORMED YELLOW PIGMENTED (PMS 123 C) MODIFIED ACRYLIC FACE/LETTER BODY

EXTERIOR FINISH: PAINTED TO MATCH PMS 877 C SILVER (OPAQUE)

INTERIOR FINISH: PAINTED STARBRIGHT WHITE (OPAQUE)

.150" POLYCARBONATE INSERT PAINTED STAR-BRIGHT WHITE

.040" ALUMINUM BACK

LETTER BODY REMOVABLE FOR SERVICE ACCESS

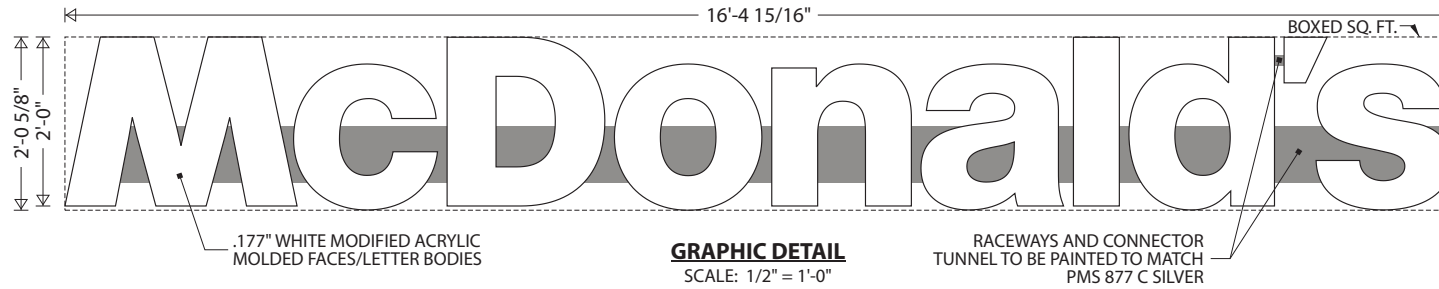
U.L. APPROVED

ELECTRICAL: 0.85 AMPS, 120 VOLTS

SQUARE FOOTAGE:

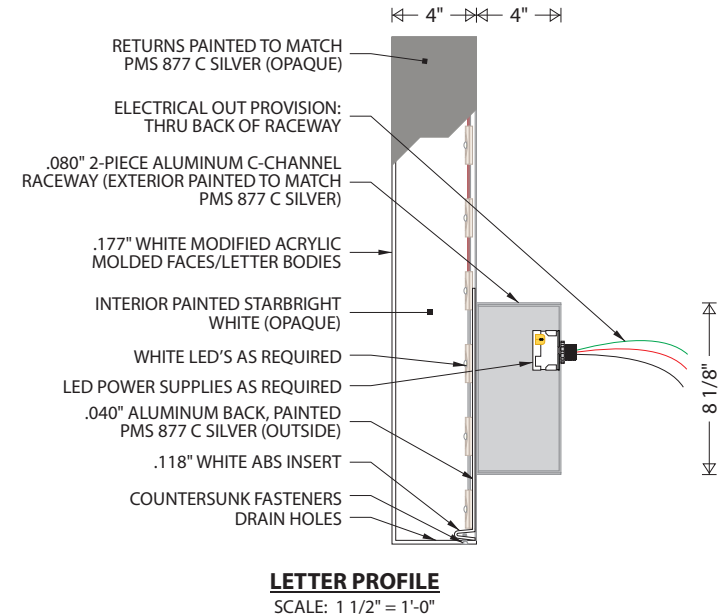
BOXED = 14.00

ACTUAL = 4.90

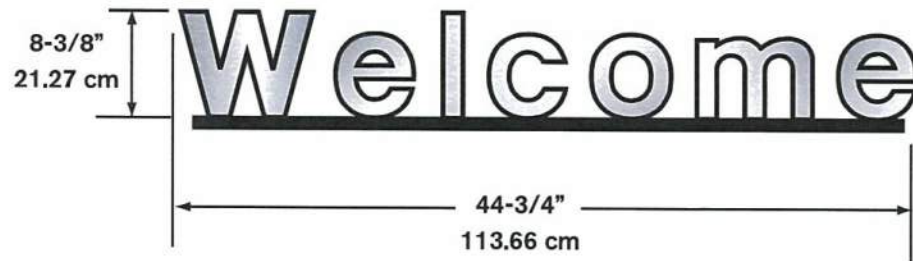


NOTES:

.177" MOLDED WHITE MODIFIED ACRYLIC LETTER BODIES
INSTALLED ON ALUMINUM BACKS
.118" WHITE ABS INSERTS
EXTERIOR FINISH: MATCH PMS 877 C SILVER (OPAQUE);
BACKS PAINTED PMS 877 C SILVER
INTERIOR FINISH: STAR-BRIGHT WHITE (OPAQUE)
LETTER BODIES REMOVABLE FOR SERVICE ACCESS
ACCESS PANEL BEHIND LETTER "n" FOR RACEWAY ACCESS
U.L. APPROVED
ELECTRICAL: 2.50 AMPS, 120 VOLTS
SQUARE FOOTAGE:
BOXED = 33.38
ACTUAL = 19.53



Welcome Sign



Illumination:

N/A

Ship Weight:

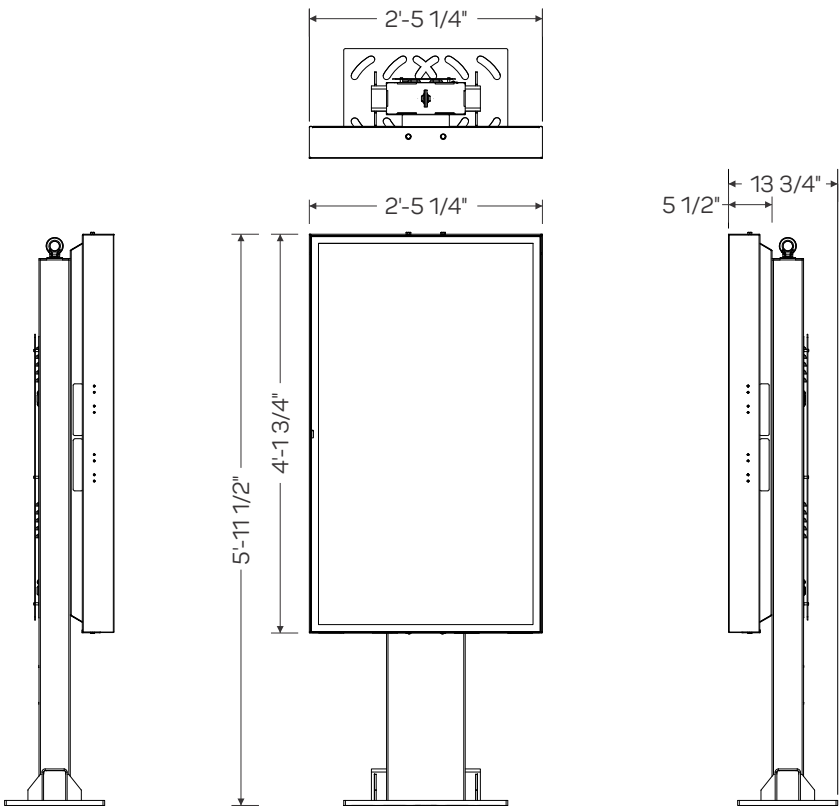
16 lbs.

Other:

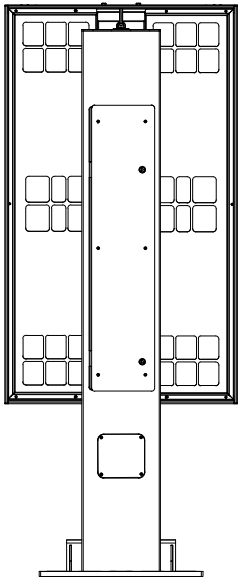
3/4" thickness cutout
aluminum letters.

Frame	Hot dip galvanized + anti-graffiti powder coated steel
Brackets	Hot dip galvanized
Panels	Aluminium + anti-graffiti powdercoat
Access fasteners	Security Torx
Media player access	Dual camlock
Eyebolt	Stainless crane on
Baseplate	McDonalds spec triple mounting pattern option

ODMB 02 SINGLE	
Displays	Samsung OH55F
Hardware	Stratacache Spectra NG
Heating/Cooling	Watlow 100W Heater Sunon 120mm AC Fan
Power Supply Units	60W DC Media Player Power Supply
Power Cables	1 x IEC Power Cable
Electrical Components	Isolated Ground 2 x IG Receptacles 20A Circuit Breaker
Communication Cables	2 x HDMI 1 x RS232
Certification	UL Certified



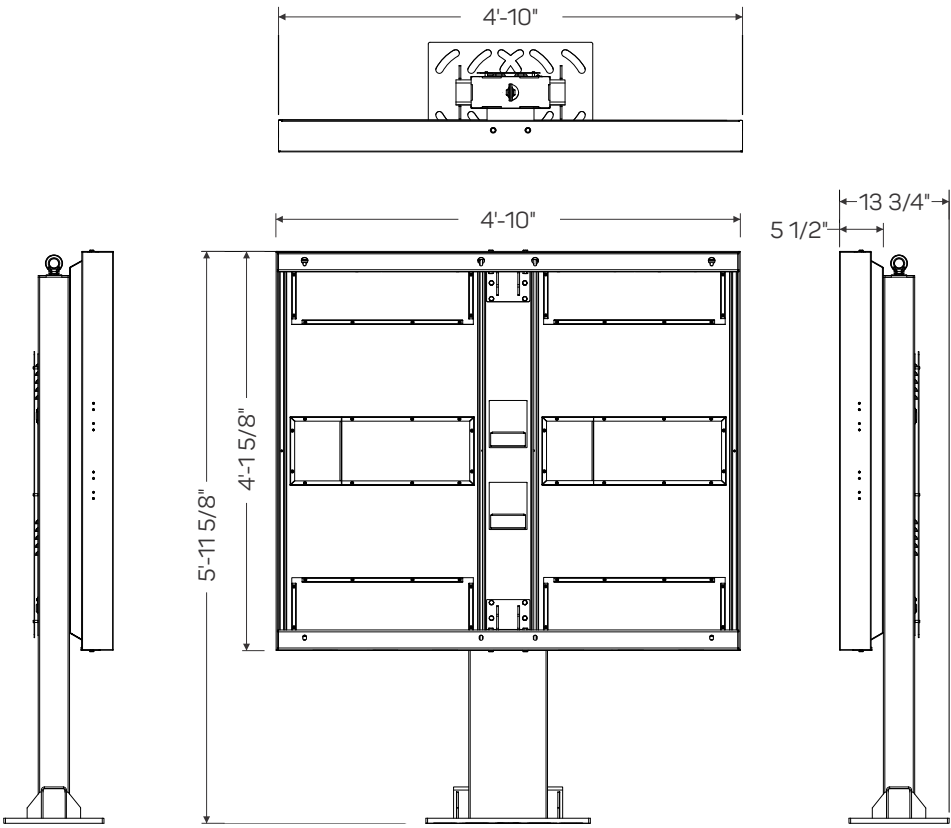
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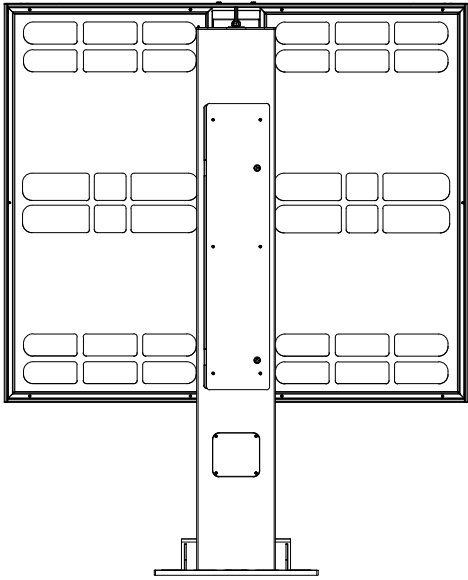
GRAPHIC DETAIL
NOT TO SCALE

Frame	Hot dip galvanized + anti-graffiti powder coated steel
Brackets	Hot dip galvanized
Panels	Aluminium + anti-graffiti powdercoat
Access fasteners	Security Torx
Media player access	Dual camlock
Eyebolt	Stainless crane on
Baseplate	McDonalds spec triple mounting pattern option

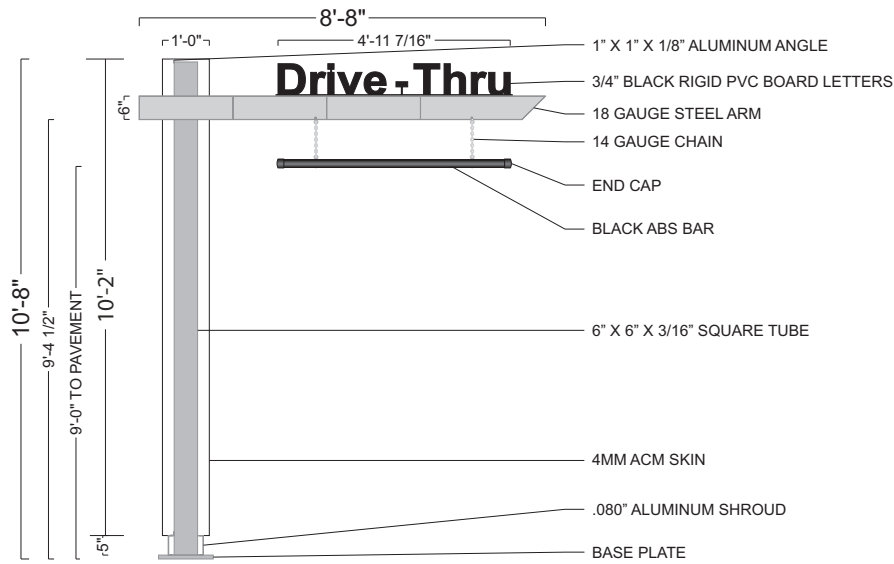
ODMB 02 DOUBLE	
Displays	2 x Samsung OH55F
Hardware	2 x Stratacache Spectra NG
Heating/Cooling	Watlow 100W Heater Sunon 120mm AC Fan
Power Supply Units	2 x 60W DC Media Player Power Supply
Power Cables	2 x IEC Power Cables
Electrical Components	Isolated Ground 2 x IG Receptacles 20A Circuit Breaker
Communication Cables	4 x HDMI 2 x RS232
Certification	UL Certified



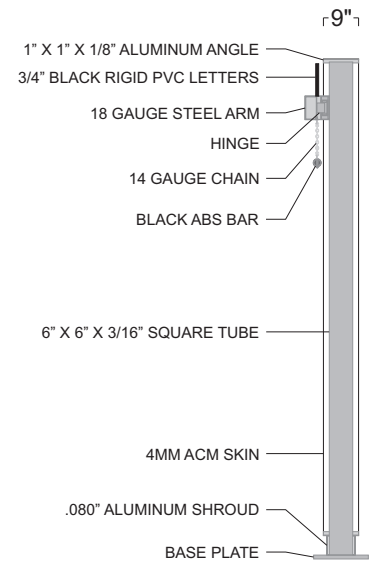
SCALE: 1/2" = 1'-0"



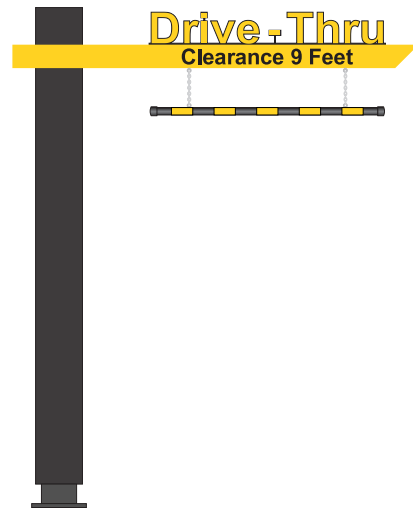
GRAPHIC DETAIL
NOT TO SCALE



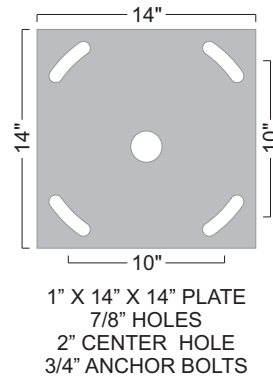
FRONT VIEW
SCALE: 1/4" = 1'-0"



END VIEW
SCALE: 1/4" = 1'-0"



GRAPHIC DETAIL
SCALE: 1/4" = 1'-0"

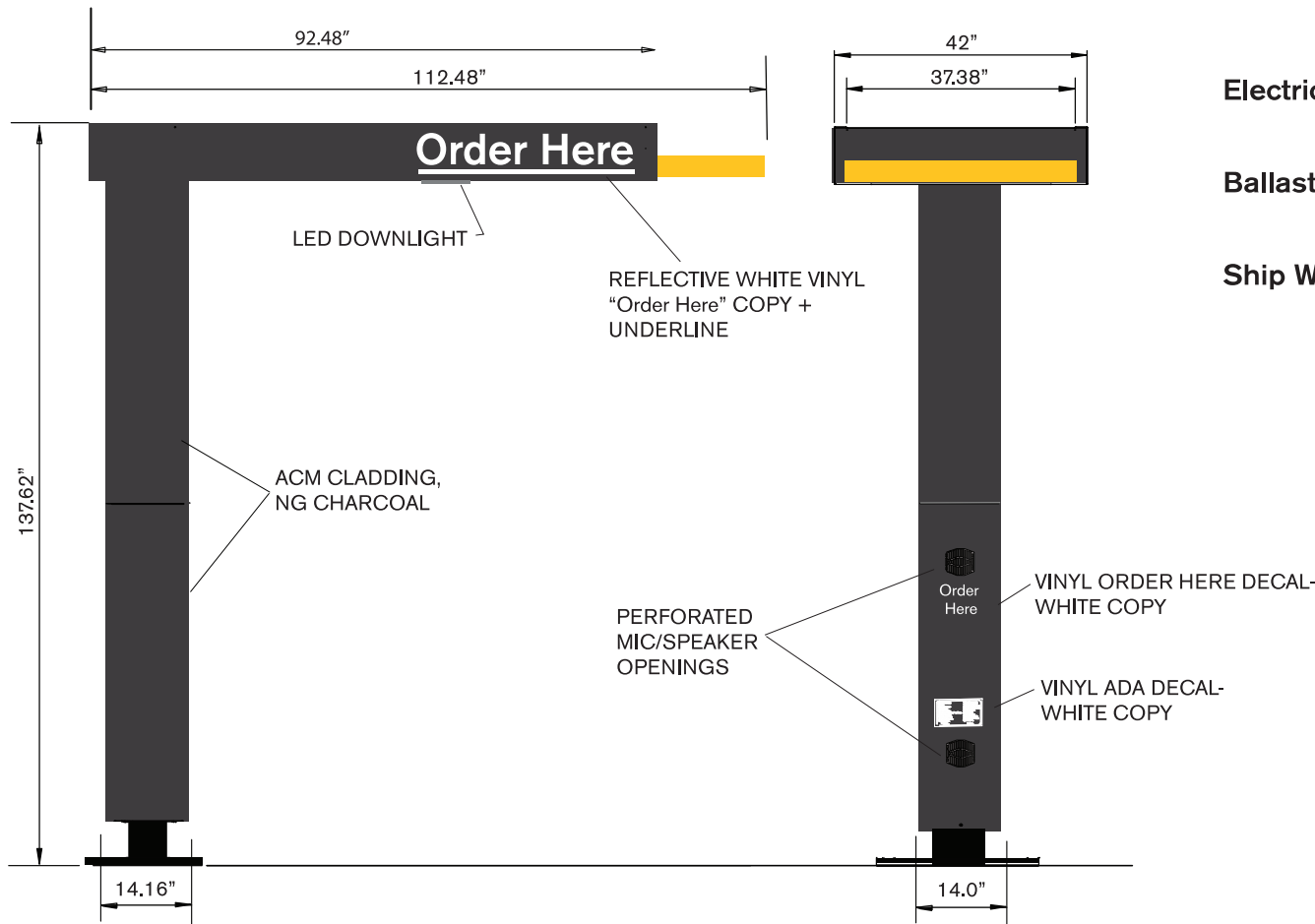


BASE PLATE DETAIL
SCALE: 1" = 1'-0"

POLE COVER DETAIL
DESIGN FACTOR: TBD
4MM WHITE ACM POLE COVER
.080" ALUMINUM CAP AND SHROUD
EXTERIOR FINISH:
POLE COVER
GRAY FORD-MED DK PLATINUM
SHROUD AND BASE PLATE - MATCH
B.M. 1631 MIDNIGHT OIL
CLEARANCE BAR DETAIL
BLACK ACM PIPE W/ 7725-15 YELLOW
VINYL STRIPES APPLIED TO 1ST
SURFACE
SQUARE FEET: BOXED = 92.44
ACTUAL = 15.68

SWING ARM DETAIL
DESIGN FACTOR: TBD
18 GAUGE STEEL ARM WITH HINGE
W/ 1ST SURFACE PAINT AND VINYL
DECORATION:
MATCH PMS 109 C YELLOW - SWING ARM
7725-12 BLACK VINYL - "CLEARANCE 9 FEET"
COPY
"DRIVE-THRU" LETTER DETAIL
3/4" BLACK RIGID PVC BOARD ROUTED
LETTERS W/ 1ST SURFACE VINYL
DECORATION:
7725-15 BRIGHT YELLOW - "DRIVE-
THRU" COPY
BLACK - COPY OUTLINE

Slim Springboard Canopy w/Audio Only - Yellow

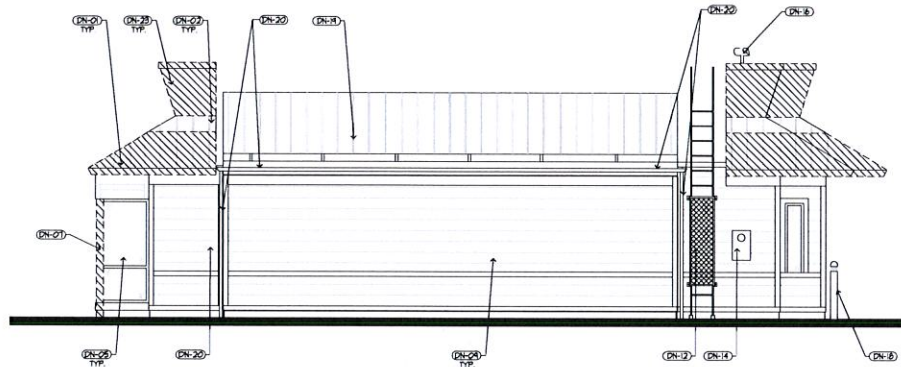


Illumination: LED Downlighting

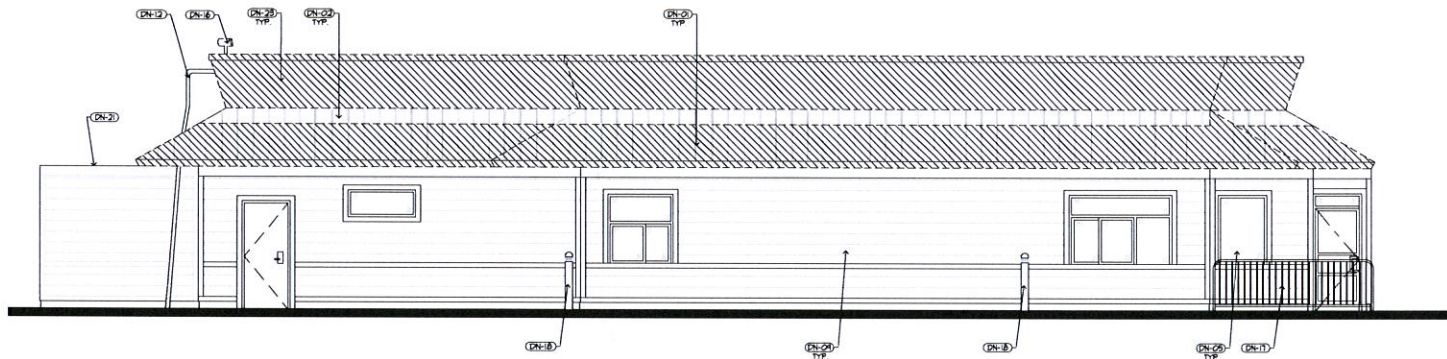
Electrical: 1.5 Amps 120 volt, 60 Hz

Ballast:

Ship Weight:



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

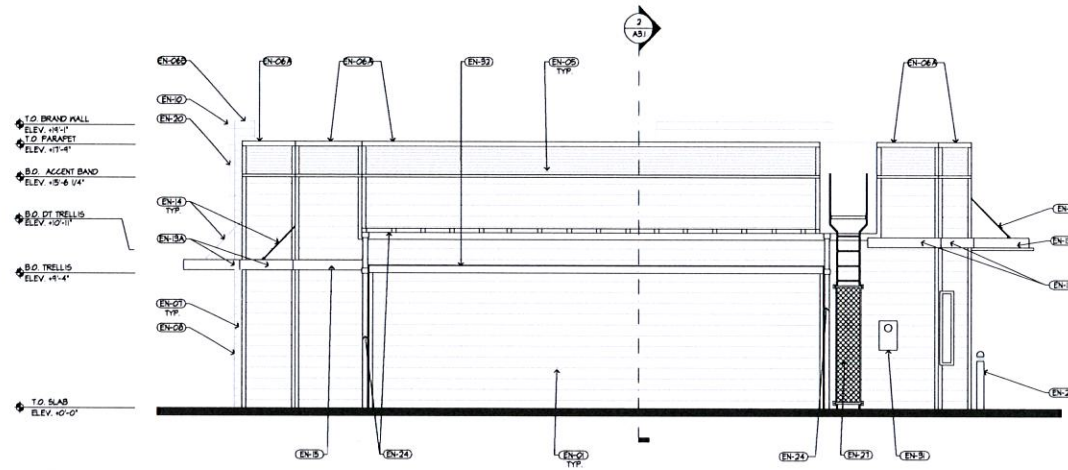
DEMO ELEVATION KEYNOTES

- | | |
|---|---|
| <p>(DN-01) REMOVE EXISTING HANGAR ROOF OVERHANG PROJECTION TO ALIGN WITH WALL BELOW. REMOVE ALL ASSOCIATED SOFFIT LIGHT FIXTURES & CAP UTILITIES REMAINING WALL AS NECESSARY.</p> <p>(DN-02) REMOVE EXISTING ROOFING FINISHES DOWN TO EXISTING SHEATHING AT PORTION OF HANGAR TRUSSES REMAINING.</p> <p>(DN-03) NOT USED.</p> <p>(DN-04) REMOVE EXISTING BUILDING SIGNAGE. VERIFY WITH OWNER IF SALVAGEABLE.</p> <p>(DN-05) REMOVE EXISTING STOREFRONT & FRAME AS SHOWN TO ACCOMMODATE NEW CONSTRUCTION. VERIFY SALVAGE OR DISPOSAL WITH HANGAR AREA CONSTRUCTION MANAGER. SEE DEMOLITION & FLOOR PLAN FOR EXTENT OF WORK.</p> <p>(DN-06) REMOVE PORTION OF EXTERIOR WALL AS SHOWN TO ACCOMMODATE NEW CONSTRUCTION. SEE DEMOLITION & FLOOR PLAN FOR EXTENT OF WORK.</p> <p>(DN-07) NOT USED.</p> <p>(DN-08) REMOVE ALL EXISTING SIDING & TRIM FOR INSTALLATION OF NEW. VERIFY CONDITION OF EXISTING SHEATHING & PARAPET. A/D. REPAIR/REPLACE AS NECESSARY. EXISTING SIDING IS NOT TO BE USED AT SHEATHING. IF NO SHEATHING EXISTS, S.G. TO PROVIDE NEW EXTERIOR GRADE PLYWOOD SHEATHING.</p> <p>(DN-09) NOT USED.</p> <p>(DN-10) EXISTING BULK OIL FILL BOX TO REMAIN. PROTECT FROM DAMAGE.</p> <p>(DN-11) EXISTING ROOF LADDER TO REMAIN. REMOVE & REINSTALL FOR INSTALLATION OF NEW SIDING.</p> <p>(DN-12) NOT USED.</p> <p>(DN-13) EXISTING ELECTRICAL METER ASSEMBLY TO REMAIN. PROTECT FROM DAMAGE.</p> <p>(DN-14) NOT USED.</p> <p>(DN-15) REMOVE EXISTING SECURITY CAMERAS TO ACCOMMODATE NEW CONSTRUCTION. REINSTALL PER OWNER'S DIRECTION.</p> | <p>(DN-16) REMOVE EXISTING GUARDRAIL. VERIFY REUSE, SALVAGE, OR DISPOSAL WITH HANGAR AREA CONSTRUCTION MANAGER.</p> <p>(DN-17) EXISTING BOLLARD TO REMAIN. PROTECT FROM DAMAGE.</p> <p>(DN-18) REMOVE EXISTING SCREEN MALL FOR INSTALLATION OF NEW. PROTECT EXISTING SLEEPERS FOR REUSE.</p> <p>(DN-19) EXISTING GUTTER & DOWNGRADE TO REMAIN. REMOVE & REINSTALL FOR INSTALLATION OF NEW SIDING.</p> <p>(DN-20) VERIFY CONDITION OF FLASHING & REPLACE IF NECESSARY. REMOVE EXISTING ADDRESS NUMBERS TO ACCOMMODATE NEW CONSTRUCTION. REINSTALL PER DIRECTION FROM HANGAR AREA CONSTRUCTION MANAGER & FIRE MARSHAL.</p> <p>(DN-21) REMOVE EXISTING DECORATIVE BRANDED PARAPET STRUCTURE.</p> |
|---|---|

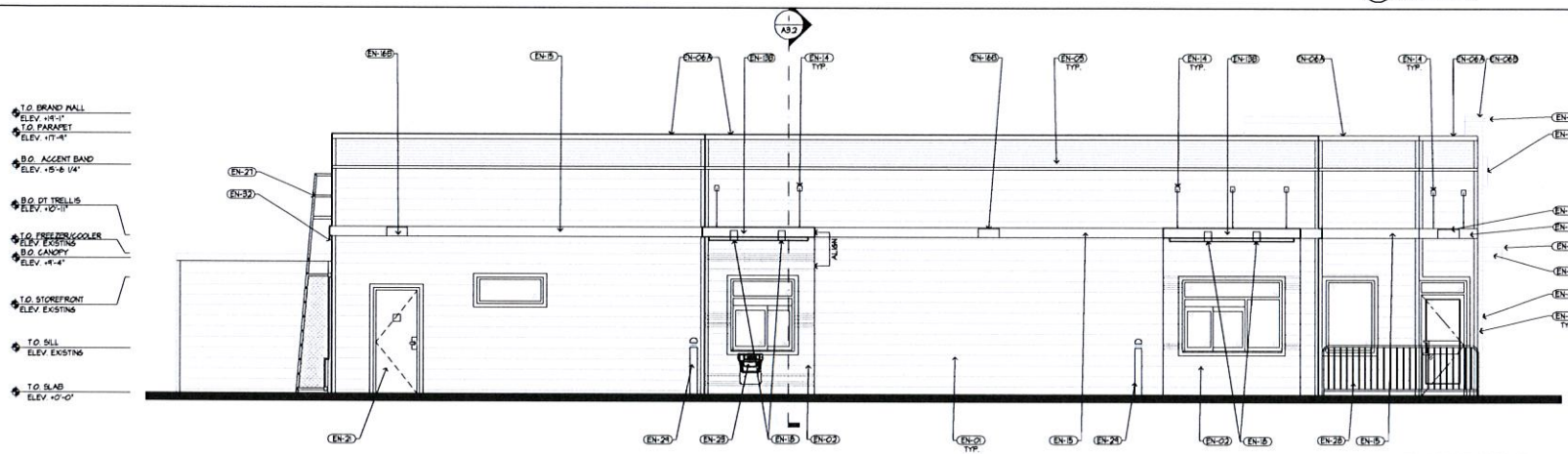
DEMOLITION GENERAL NOTES

- THESE DRAWINGS WERE PREPARED BASED ON INFORMATION ATTAINED FROM A SITE SURVEY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION & NOTIFY THIS OFFICE IN CASE OF DISCREPANCIES. ASAP. DEMOLITION IS TO BE EXECUTED SO AS NOT TO DISTURB EXISTING STRUCTURAL & ROOFING SYSTEMS, AND OTHER AREAS THAT ARE INTENDED TO REMAIN. VERIFY ALL CONSTRUCTION TO BE REMOVED THAT IS NOT INTEGRAL TO STRUCTURAL SYSTEM PRIOR TO DEMOLITION.
- ALL DIMENSIONS SHOWN AS EXISTING SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO DEMOLITION. VERIFY ALL DEMOLITION WORK IN NEW CONSTRUCTION & INSTALLATION DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
- DEMOLITION CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DOCUMENTS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK. BY THE ACT OF STARTING DEMOLITION, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING, TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE THE NECESSARY ALLOWANCES IN PREPARING HIS BID.
- ELECTRICAL DEMOLITION NOTE: REFER TO ELECTRICAL DRAWINGS FOR DETAILED ELECTRICAL DEMOLITION NOTES.
- VERIFY DISPOSITION OF ALL FURNISHINGS, MILLWORK, LIGHTING FIXTURES, ETC. TO BE REMOVED IN OWNER. ALL ITEMS TO BE DISPOSED SHALL BE DISPOSED OF OFF-SITE AND IN AN EXPEDITIOUS MANNER.
- ROOFING CONTRACTOR TO FIELD INSPECT EXISTING ROOF FOR WEATHER TIGHTNESS & PROPER DRAINAGE PRIOR TO BID. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING ROOF CONDITION AND FOR INCLUDING ANY NECESSARY REPAIR COSTS IN BID.
- SNAP CUT & REMOVE EXISTING SLABS AS REQUIRED FOR UNDERGROUND ELECTRICAL & PLUMBING LINES. REFER TO PLUMBING, ELECTRICAL & KITCHEN DRAWINGS FOR ALL SANGUITS & TRENCHING WORK REQUIRED. ALL CONCRETE FLOOR WORK TO BE FINISHED FLUSH WITH EXISTING FLOOR. DOWN NEW SLABS TO EXISTING IN 4" REBAR @ 24" O.C. EACH SIDE (DAMAGED) REBAR TO EXTEND 6" INTO EXISTING SLAB & ACROSS GUT OPENING. SECURE REBAR INTO EXISTING SLAB IN EXISTING GROUT. REPLACE OR REPAIR ANY VAPOR BARRIERS DISTURBED DURING EXCAVATIONS.
- CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AS REQUIRED TO MAINTAIN STRUCTURAL STABILITY OF THE EXISTING STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
- PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING WALLS, FLOORS, CEILINGS, ETC. THAT ARE TO REMAIN. CONTRACTOR TO PATCH & REPAIR ANY DAMAGED PORTIONS OF THE EXISTING BUILDING AS REQUIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION & FINISHES.
- WHEN UTILITIES ARE REMOVED, CAP & SEAL A MINIMUM OF 8" BELOW FINISH FLOOR OR A MINIMUM OF 6" ABOVE FINISH CEILING.
- THIS PLAN INDICATES A GENERAL SCOPE OF WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR TO COMPLETE THE BUILDING MODIFICATIONS AS SHOWN AND REQUIRED BY THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL & HVAC WORK.
- IF CONTRACTOR ENCOUNTERS ANY HAZARDOUS MATERIALS DURING DEMOLITION OR CONSTRUCTION, HE SHALL IMMEDIATELY SUSPEND WORK & NOTIFY THE HANGAR AREA PROJECT MANAGER BEFORE PROCEEDING.
- ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER & IN STRICT ACCORDANCE WITH OSHA REGULATIONS.
- THE SUB-CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION. THE WORK INCLUDED, BUT IS NOT LIMITED TO THE DEMOLITION AND REMOVAL OF ANY WALLS, CEILING, FURNITURE, BULKHEADS, DOORS, PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS INCLUDING CONDUITS AND DUCTWORK, AS SHOWN ON THE DRAWINGS OR AS REQUIRED TO COMPLETE THE INSTALLATION OF THE NEW WORK FOR A COMPLETE JOB.
- REMOVE ANY SINKS, WATER CLOSETS, URINALS, LAVATOIRES, FLOOR DRAINS, NOTED ON DRAWINGS AS WELL AS ALL ASSOCIATED PLUMBING ACCESSORIES. CAP PLUS ALL ABANDONED SUPPLY & WASTE LINES. PATCH & SEAL ALL FLOOR PENETRATIONS. SEE MECHANICAL & PLUMBING DRAWINGS FOR DETAILED DEMOLITION NOTES.
- ELEVATION HEIGHTS SHOWN ARE FOR REFERENCE ONLY.
- CONTRACTOR RESPONSIBLE TO ENSURE ALL NEW FINISHES IN RESTROOMS WILL NOT REDUCE REQUIRED CLEARANCES FOR ACCESSIBILITY. RETRAFFIC WALLS AS NECESSARY TO ENSURE ALL CLEARANCES ARE MET.

15418 REGISTERED ARCHITECT STATE OF WASHINGTON	
PREPARED FOR: M. McDonald's USA, LLC	DATE: MAY 2017
REVIEWED BY: JLT	DATE: OCT 2018
PROJECT NAME: 2018 MRP REMODEL CORE 15	
DESCRIPTION: DEMOLITION & RETAIL REPAIR SHOP REPAIRS	
FILE NO: A18-339	SHEET NO: 11367
D1.2 DEMO ELEVATIONS	



 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION

ELEVATION KEYNOTES

- [illegible]

ELEVATION GENERAL NOTES

1. FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH McDONALD'S AREA CONSTRUCTION MANAGER AND COORDINATED WITH SIGN MANUFACTURER.
2. ** DENOTES SAFETY GLAZING.
3. TRASH ENCLOSURE (8 BATES NOT SHOWN) TO RECEIVE NEW SIGNS TO MATCH BUILDING BE BUILT "BASE BUILDING" COLOR.

COLOR LEGEND

- | | |
|----------------------|---|
| GRAFTMAN SCHEME | |
| BRAND WALLS | <p>TILE: BIRCHMEYER E-WOOD COLLECTION
 RE: LUGS: 5/16" AT 1" SP.
 PATTERN: 1/4" OFFSET RUNNING BOND
 WATERPROOFING: 1 SETTING MATERIAL
 GROUT: BY NAME
 GROUT COLOR: ULTRA COLOR PLUS - 41 CHARCOAL
 GROUT WIDTH: 1/8" TO 3/16"</p> |
| ACCENT BAND | <p>METAL: ERA CORRUGATED
 18" 1/2" PANEL 24 GAUGE
 COLOR: CITYSCAPE</p> |
| LAP SIDING | <p>JAMES HARDIE CEDAR BOARDS LAP SIDING
 MATCH EXISTING EXPOSURE 1 FINISH</p> |
| BASE BUILDING | <p>TANVUE TANK
 BENJAMIN MOORE HVC-85</p> |
| ACCENT COLOR | <p>BENJAMIN MOORE
 BENJAMIN MOORE K034-30</p> |
| ABOVE GALLERY FINISH | <p>FIBER CEMENT SIDING
 NIGHER VINTAGE POOD COLLECTION CEDAR</p> |

Design Review Board Design Guideline Checklist
Mixed Use Town Center and High School Road Districts / General Design Guidelines– BIMC 18.18.030

☐ "Pre-App" Meeting Checklist

☐ "Post-App" Meeting Checklist

Project Name/Case #: MCDONALD'S REMODEL (501 HIGH SCHOOL RD NE)

Land Use Application
(Pre-app, Site Plan
Review etc.):

N/A

Project Description:

The scope of work includes cutting back the mansard roof and modifying into new parapets, new paint, siding, adding new accent walls, replacing drive thru menu boards and new building wall signs, modifying the service counter, new seating and finishes at the dining area and restrooms, and ada upgrades throughout the site and public interior spaces. Adding additional lane to drive thru

Applicable Design Guidelines				
Design Guideline	Intent	Description	Applicant Response	DRB Action (Y/N)
1. Parking Lot Location	To have parking lots be as visually unobtrusive as possible.	Parking lots should not front upon intersections. Parking lots should be located behind or to the side of buildings.	The parking lot location is existing to remain and will not be altered during this remodel.	
2. Outdoor Open Spaces and Amenities	To establish, over time, a variety of open spaces within the town center	New development and redevelopment should provide facilities near or visible from the sidewalk for outdoor public use. Examples of such facilities include seating areas, courtyards, and small plaza spaces. Generally, the larger the development, the greater the number and size of such spaces. Furthermore, it is desirable to locate these spaces where they can receive sun and where they can easily be connected to adjacent concentrations of land use.	A large open area such as a courtyard would not be feasible on this site as it is already developed with parking, landscaping and just enough sidewalk for pedestrians to egress between the street and the restaurant.	
3. Pedestrian Connections	To create a network of safe, comfortable and attractive linkages for people on foot	New development and redevelopment should include pedestrian walkways, raised and/or separated from traffic lanes, that offer access from the public sidewalk to the main entrance to the building. (Locating a building entrance directly on the sidewalk satisfies this guideline.) In addition, connections to adjoining properties should be provided. Furthermore, within parking lots, there should be pedestrian walkways that allow people to traverse the lot without being forced to use vehicular aisles.	A pedestrian connection from the site to high school road will be added to ensure a safe ADA walkway for the public using the site. The existing connection in the north west corner of the site is not sufficient. Please see sheet sp-2 to see the planned ad connection.	
4. Shielded Lighting	To ensure that the source of lighting for parking, service and loading areas is not visible from neighboring development.	Freestanding light fixtures should not exceed 14' in height. All exterior lighting fixtures should incorporate cutoff shields to prevent spillover.	No site lighting will be altered during this remodel.	

Design Review Board Design Guideline Checklist
Mixed Use Town Center and High School Road Districts / General Design Guidelines– BIMC 18.18.030

Applicable Design Guidelines				
Design Guideline	Intent	Description	Applicant Response	DRB Action (Y/N)
5. Screen Service Areas	To conceal loading, trash, and storage areas from view.	Trash containers should be enclosed on all sides with solid walls and gates. Loading docks, outdoor storage and staging areas should be screened with fencing and vegetation, such as evergreen hedges. Chain link fencing is not acceptable.	The existing trash enclosure is scoped to be re-sided to match the main building's exterior. It sufficiently screens the trash receptacles.	
6. Common Open Space	To ensure that open spaces within a development containing dwelling units are truly usable by all residents.	While some portions of common open space may be dedicated to specific amenities such as pools and tennis courts, most of it should be designed in such a manner as to allow walking throughout the development, to any adjacent commercial or recreational areas, and to surrounding streets. Except for designated senior housing, some place for children to play should also be provided.	N/a	
6a. Conceal Garage Doors	To ensure that street frontages are not dominated by vehicular storage facilities.	Entrances to parking garages and structures should be from alleys, access lanes, or minor side streets, rather than from principal through streets. If access from a principal street is unavoidable, such access should be restricted to a single, two-way curb cut for each development.	N/a	
7. Overall Form	To create visual continuity among buildings having potentially different styles.	Buildings should utilize elements such as massing, materials, windows, canopies, and pitched or terraced roof forms to create both a visually distinct "base" as well as a "cap".	Building elements such as canopies, windows, accent walls, accent tile, metal parapet band, wood stamped cement board accent siding all provide visual interest.	
8. Entrances	To make it apparent from the street where major entrances to buildings are located.	Principal entrances to buildings should be visually prominent and located within close proximity to the public sidewalk. Entrances should incorporate elements such as setbacks, recesses, balconies, porches, arches, trellises, or other architectural devices.	Entrances have their own canopy, an accent wall with tile, a welcome sign and a 24" "m" arch sign to help the community easier determine where the entrances are.	
9. Conceal Mechanical Equipment	To ensure that larger pieces of mechanical equipment are visually unobtrusive.	Rooftop mechanical equipment should be concealed by and integrated within the roof form of a building. Simply surrounding it with a parapet wall is not sufficient.	The mansard roof will be cut back and modified into a parapet. It will provide sufficient coverage to screen mechanical equipment.	
10. Structured Parking	To diminish the visual impact of parking as viewed from streets.	Any level of parking contained within or under a structure that is visible from a public street shall fully screen the parking with either another use, a facade that incorporates artwork, or trees and other vegetation.	Parking will not be altered other than ADA stall relocation and the loss of 4 stalls to incorporate another drive thru lane to facilitate quicker order times therefore reducing que times.	
11. Encouraging Varied Details	To ensure that denser types of housing include details that create a sense of human scale and that break down the bulk of larger buildings.	Buildings containing residential dwellings should incorporate most, if not all, of the following elements: • Front porches or stoops • Bay windows or dormers • Visible trim around windows and building corners • Base articulation, such as a plinth or first floor raised above grade	N/a	

Design Review Board Design Guideline Checklist
Mixed Use Town Center and High School Road Districts / General Design Guidelines– BIMC 18.18.030

Applicable Design Guidelines				
Design Guideline	Intent	Description	Applicant Response	DRB Action (Y/N)
12. Integration	To ensure that signage is a part of the overall design approach to a project and not an afterthought.	The design of signs should be integrated with the architecture and site design of a project.	McDonalds has spent a lot of time perfecting their corporate prototypes. The signage on the building has gone through a brand review process to ensure that it had been designed to their standards.	
13. Creativity	To encourage interesting and even unusual approaches to graphic design.	Signs should be expressive and even whimsical, exhibiting a graphic design approach to form and lighting. Standard, back-lighted, metal frame and plastic panel signs are discouraged.	The signs and logos used on this building are standard everywhere and help the community instantly identify the building as a McDonald's restaurant. To add expression and whimsical to the design of the signage would be detrimental to the purpose of the building's overall design.	
14. Awning Signs	To produce a visual effect that emphasizes buildings and vegetation, not advertising.	Signs painted on awnings are allowed, but awnings should not be internally illuminated.	We do not include any internally illuminated awnings in this remodel.	

Guidelines Requiring
Action per DRB:

DRB Summary Motion
on Actions:



Design Review Board Findings and Recommendation

Design Review Board Meeting Dates:	August 5, 2019
Project Proposal Name and Number:	Hyla Middle School <i>PLN 51288 SR</i>
Project Planner:	Kelly Tayara
Decision Maker:	<i>Planning Director</i>

Purpose: The purpose of the Design Review Board review and recommendation meeting is to review a proposed project for consistency with applicable design guidelines and to ensure that the project reflects any revisions recommended by the design review board at the design guidance review meeting. The design review board will also consider any requested departures from the design guidelines.

Consideration: A Design Review Board recommendation is not a final decision and therefore there is no appeal of the recommendation.

The Design Review Board will forward its written findings, their determination of the project's consistency with the design guidelines, the design guideline checklist and their recommendation, including any conditions to the staff planner.

Findings of Fact and Reasons for Action:

☒ 1) The project, as conditioned, is found to be consistent with the applicable design guidelines.

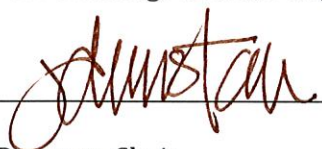
☒ 2) The project is not proposing any departures from the design guidelines.

Recommendation:

The Design Review Board recommends to the staff planner the following conditions:

- ☒ 1) Approve the proposal as recommended, with the addition of:
- Relief of the roadside setback, landscape buffer and lot coverage standards through the provisions of the BIMC 18.24.010(C)
- ☐ 2) Deny the proposal for the following reasons:

City of Bainbridge Island Design Review Board



Joe Dunstan, Chair

8/5/19

Date