

CALL TO ORDER, AGENDA REVIEW, CONFLICT DISCLOSURE
REVIEW AND APPROVE Minutes – June 19, 2019 and June 23, 2019
CONSIDER CHANGES TO INNER PLANNING AREA BOUNDARY
CITY DESIGN GUIDELINES UPDATE PROJECT
SCHEDULE COMMUNITY MEETING
NEXT MEETING AGENDA – JULY 17, 2019
PUBLIC COMMENT
ADJOURN

CALL TO ORDER, AGENDA REVIEW, CONFLICT DISCLOSURE

Chair Maradel Gale called the meeting to order at 6:30 PM. Steering Committee Members in attendance were Michael Loverich, Scott Anderson, Donna Harui, Asaph Glosser, John Decker, Sam Marshall, Mark Tiernan, Jon Quitslund (Planning Commission) and Jane Rein (Design Review Board). Vice-chair Micah Strom was absent and excused. City Staff present were Engineering Manager Mike Michael, Long Range Senior Planner Christy Carr and Administrative Specialist Jane Rasely who monitored recording and prepared minutes.

The agenda was reviewed. Michael Loverich announced he had been appointed to the Design Review Board. There were not any other changes in status or conflicts noted.

REVIEW AND APPROVE Minutes – June 19, 2019 and June 23, 2019

June 19, 2019

Motion: I make a motion to accept the minutes as distributed.

Loverich/Marshall: Passed Unanimously

June 23, 2019

Motion: Motion to accept the minutes.

Tiernan/Harui: Passed Unanimously

Long Range Senior Planner Christy Carr introduced Jeff Arango from Framework Cultural Placemaking who will replace John Owen as the Island Center Subarea Planning Process consultant. Mr. Arango will work closely with Charlie Wenzlau and the Steering Committee, who have been involved in the process since the beginning.

CONSIDER CHANGES TO INNER PLANNING AREA BOUNDARY

Motion: I move to expand the Island Center Special Planning District per the maps presented to allow the committee to more fully discuss transportation, infrastructure, open space and community amenities.

Glosser/Harui: Passed Unanimously

CITY DESIGN GUIDELINES UPDATE PROJECT

Ms. Carr provided an overview of the Design Guidelines Update process and facilitated discussion of the new guidelines and how they influence the Island Center Subarea Planning Process work.

SCHEDULE COMMUNITY MEETING

To be determined.

NEXT MEETING AGENDA – JULY 17, 2019

Look at the inner boundary of the neighborhood center and housing.

PUBLIC COMMENT

Lisa Neal, Citizen – Asked about moving time or day of next meeting so as not to coincide with Council Primary meeting. It was decided to move the time to 5:00 – 6:30 PM on Thursday, July 17, 2019.

ADJOURN

Meeting was adjourned at 8:30 PM.

[illegible]

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STREET TYPES & FRONTAGES

Introduction

Each public street in Bainbridge has a distinct character that is defined by the configuration of the right-of-way and the building frontages, public and open spaces and landscape that form the edges of each street. This section focuses on improvements related to new development or redevelopment that shape the pedestrian realm and the buildings that contribute to a distinct streetscape, and together reflect a desired future state for the street. ~~It is intended to inform design decisions.~~ It is intended to inform design decisions on-site and in the public right-of-way that contribute to the character and experience of the streetscape.

Key streets on the island are categorized into street types that are not defined by the same conditions, but share a similar vision and raise similar design considerations. Each street type defines common characteristics and guidelines that offer design direction align with the vision for these streets. The street types regulate building orientation and façade design through specific building frontage typologies that are permitted only on certain street types. These building frontages outline how buildings should relate to each street and contribute to the public realm through greenery, public spaces, and entries consistent with the character of each street type.

STREET TYPES

- 1 State Route
- 2 Main Street
- 3 Neighborhood Main Street
- 4 Neighborhood Mixed Use
- 5 Mixed Use Arterial
- 6 Rural by Design
- 7 Green Street
- 8 Rural Green Street

FRONTAGE TYPES

- 1 Linear / Storefront
- 2 Landscape
- 3 Plaza
- 4 Forecourt
- 5 Stoop / Terrace
- 6 Vegetated Buffer
- 7 Parking

Building Frontages

Each street type is associated with a set of building frontages that would be permitted along streets of that type. Those frontage types are shown permitted for each designated street typology are shown in Table 1.

Each building frontage specifies an appropriate setback that applies across all street types. On designated streets these required setbacks will supersede setback requirements contained in the Bainbridge Island Municipal Code.

PERMITTED FRONTAGES BY STREET TYPE & SETBACKS

	LINEAR / STOREFRONT	LANDSCAPE	PLAZA	FORECOURT	STOOP / TERRACE	VEGETATED BUFFER
STATE ROUTE						✓
MAIN STREET	✓		✓	✓		
NEIGHBORHOOD MAIN STREET	✓		✓	✓		
NEIGHBORHOOD MIXED-USE		✓	✓	✓	✓	
MIXED-USE ARTERIAL	✓	✓	✓	✓	✓	
RURAL BY DESIGN		✓				✓
SETBACK BY FRONTAGE	0 FT	10 FT - 20 FT	10 FT - 20 FT	0 FT	5 FT - 15 FT	25 FT - 50 FT

COURTYARD WIDTH: 10 FT - 30 FT
COURTYARD DEPTH: 10 FT - 30 FT

Guidelines
for
Commercial and Mixed Use Projects

including
Guidelines
for
**Lynwood Center
Island Center
and Rolling Bay**

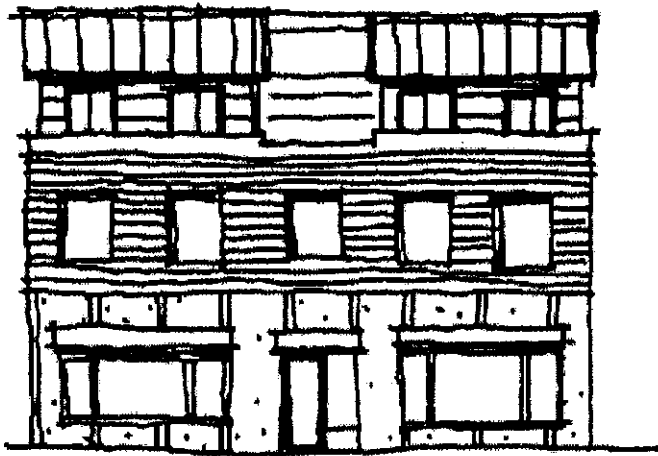
1

Intent:

To develop variation in façade treatment to provide visual interest

Guideline:

Vary building materials or patterns to produce variations in texture.



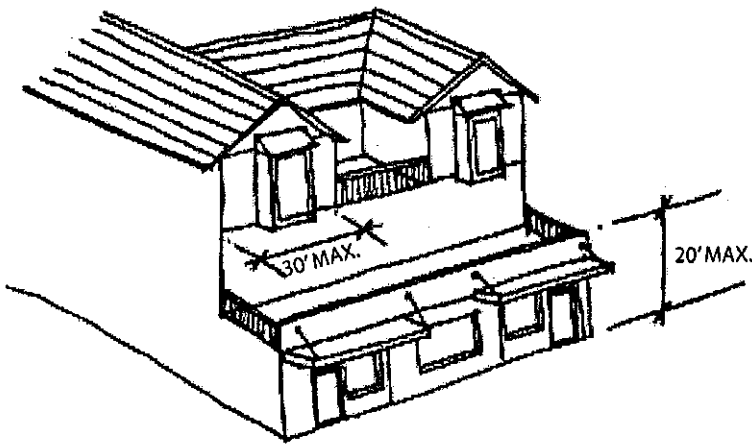
2

Intent:

To modulate the scale of building masses

Guideline:

Building elevations shall be vertically modulated in no more than 20' increments or horizontally in no more than 30' increments. Modulation is defined as a change in plane or articulation (such as bands, cornices, setbacks or changes in material).



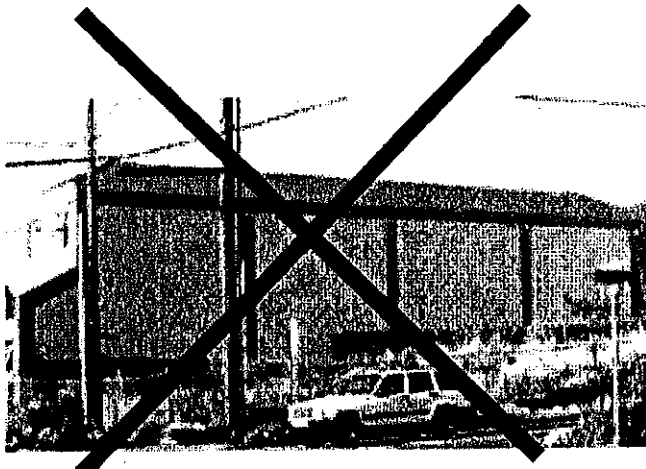
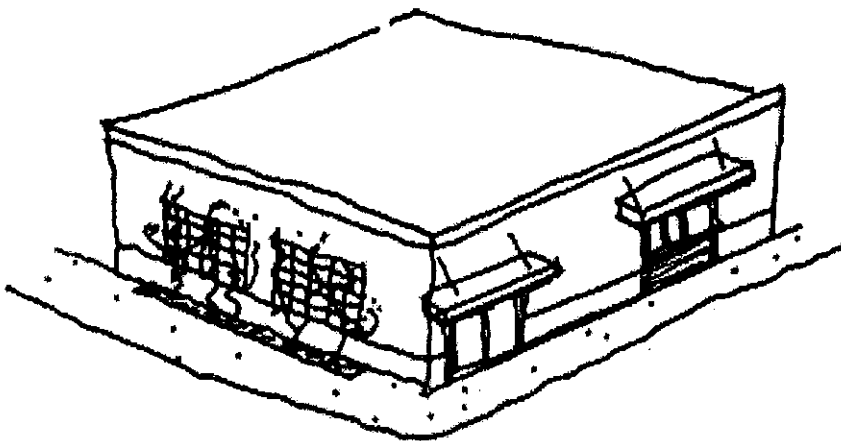
3

Intent:

To limit the visual impact of blank walls and facades and better assure aesthetic appeal

Guideline:

Blank walls shall not be visible to public spaces. Blank facades should otherwise be limited to the back of buildings or where required by the building code. Treatments to alleviate blank walls shall be similar in materials to facades normally in view of the public.



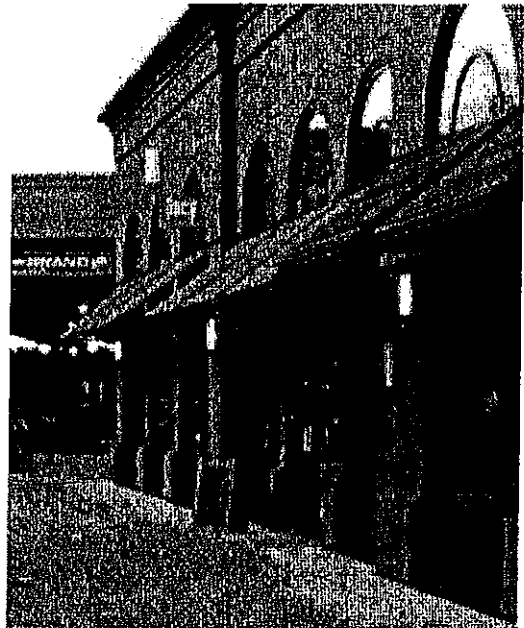
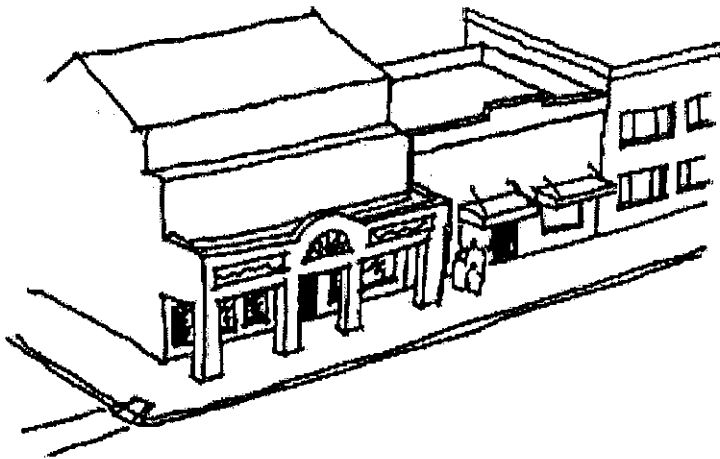
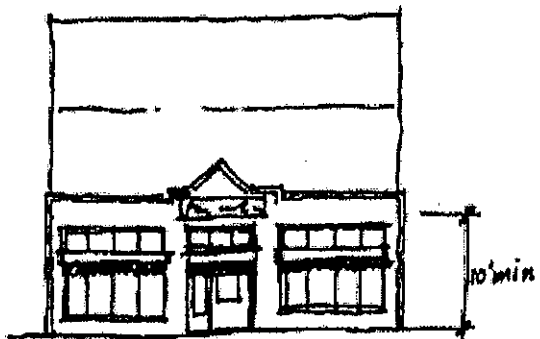
4

Intent:

To establish visually prominent ground floor facades

Guideline:

The first floor of multi-storied buildings should be taller than upper floors . Minimum ceiling height should be at least 10' to allow transom or larger display windows. Other elements such as transom windows, canopies, cornices, and prominent entries are encouraged. First floor uses shall be pedestrian oriented and include substantial shop windows. Display windows on the first floor of retail and commercial buildings should be the predominant surface of the first floor.



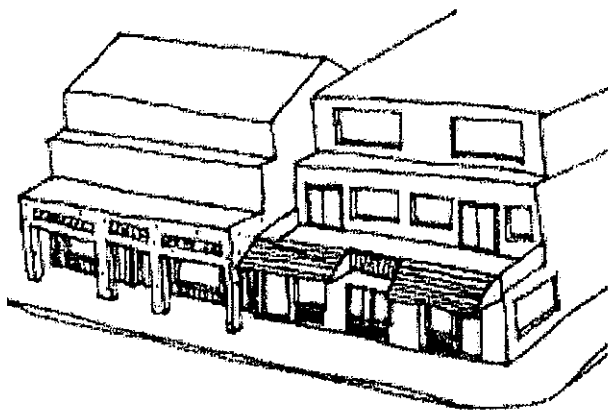
5

Intent:

To maintain pedestrian scale along facades facing public ways.

Guideline:

Facades facing public ways shall incorporate setbacks or articulation that establishes a pattern of bays or window openings. Facades shall include features such as display windows, columns or bays, recessed entries or canopies or other recesses. The use of a variety of materials at the sidewalk level is encouraged. Multiple building entrances are encouraged.



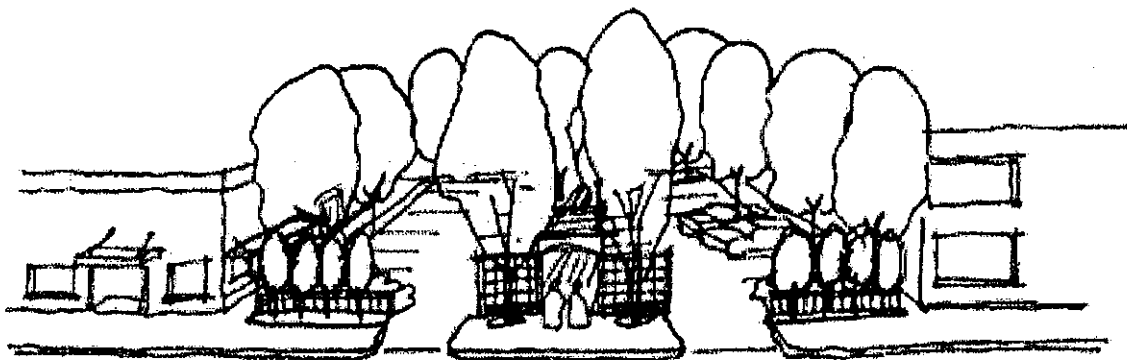
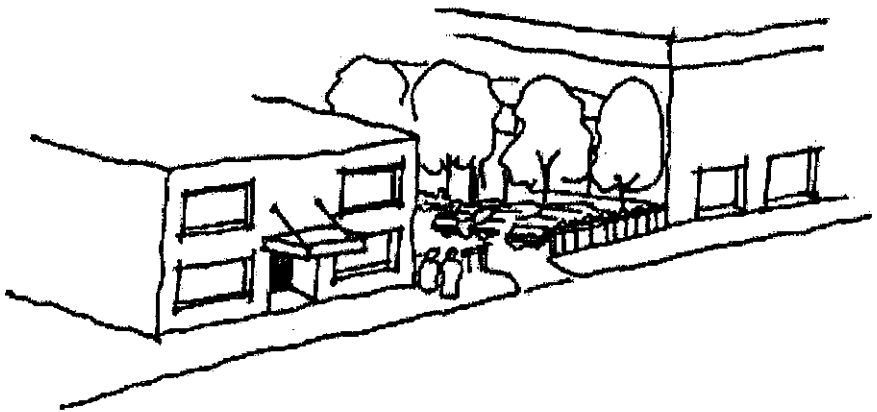
6

Intent:

To maintain the pedestrian activities by encouraging continuous frontages along sidewalks.

Guideline:

Where parking fronts onto a public street, the maximum separation between buildings shall be 80 feet. Greater separations are permitted if landscape setbacks are increased or other design features such as low walls, trellises and public spaces are created along the street frontage.



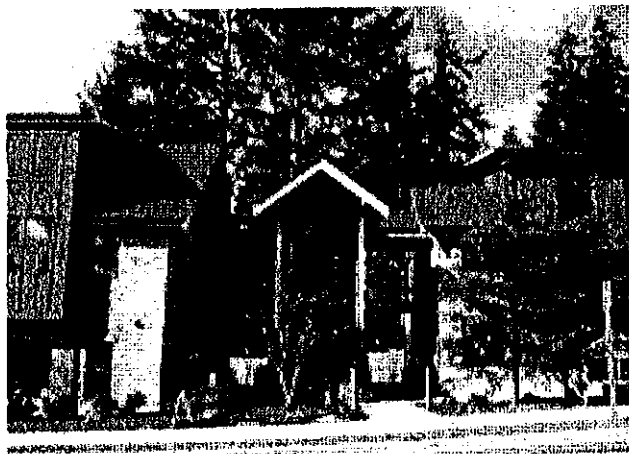
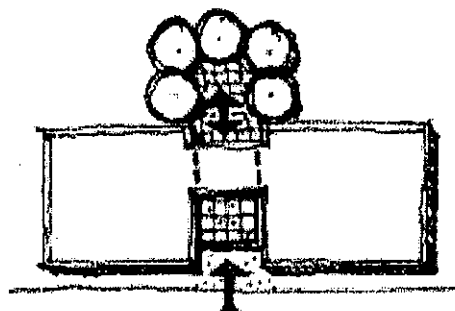
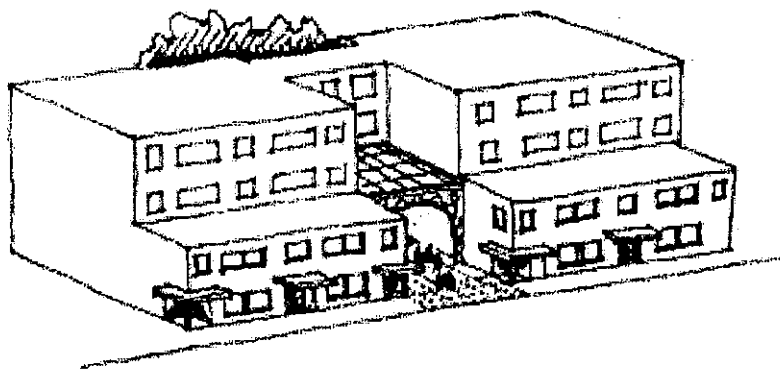
7

Intent:

To reduce overall scale of the building into multiple building masses.

Guideline:

Facades over 128' in length shall be separated by pedestrian passage or open space. Passages should be at least 12' wide and two stories in height if covered. Façade setback should be expressed at the roof line by changes in plane. Passage should connect to public open space.



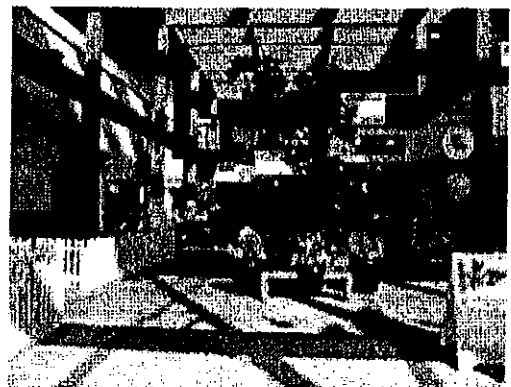
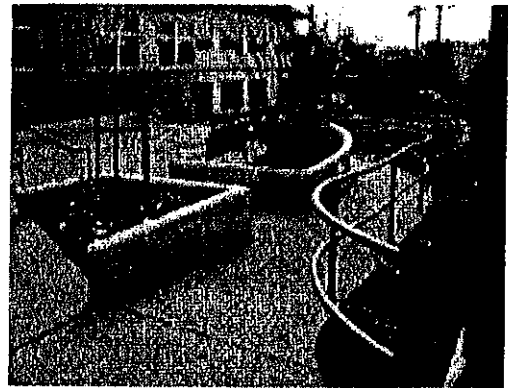
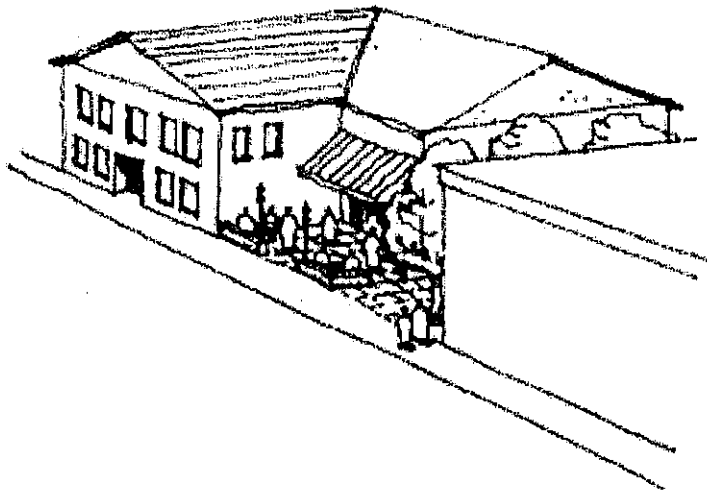
8

Intent:

To encourage the creation of public outdoor spaces.

Guideline:

Building setbacks may be increased for the creation of public outdoor seating areas. Entry alcoves and small outdoor spaces may be located between the building and the sidewalk.



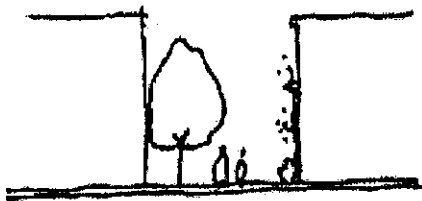
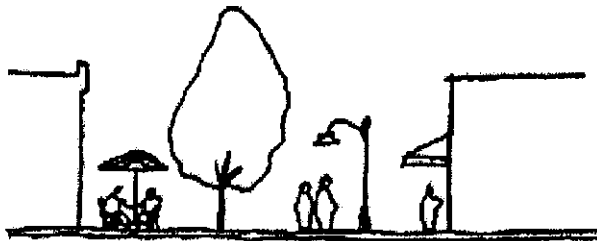
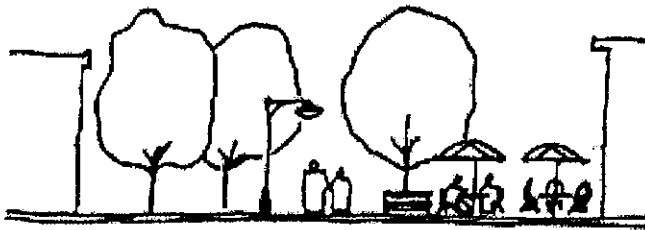
9

Intent:

To soften the impact of the built environment.

Guideline:

Encourage public pedestrian passageways and vegetation between buildings.



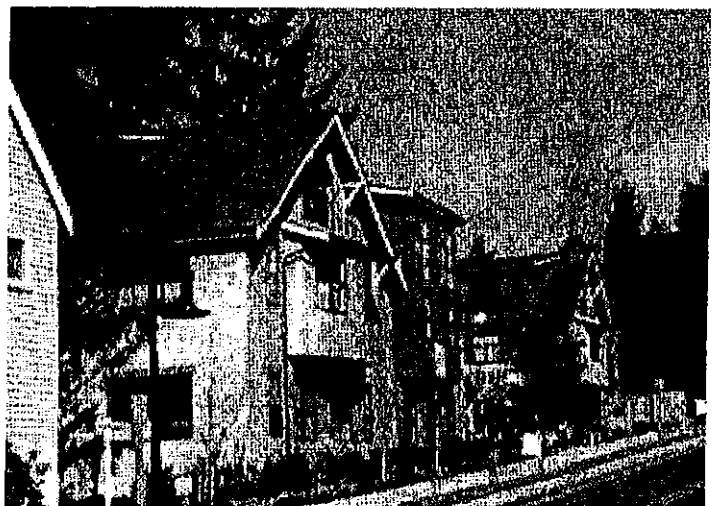
10

Intent:

To encourage compatibility of development with both community and neighborhood characteristics.

Guideline:

Building designs should respond to nearby buildings that meet the upgraded design standards by using shared elements, materials or massing.



11

Intent:

To minimize the intrusiveness of commercial signage

Guideline:

Signage, corporate colors and other icons of the business may not dominate the exterior of the building, including canopies and separate outdoor structures covering activities associated with the business. Color should be used to express changes in detail or material but exterior building or structure colors may not be used as signs, or the extension of signs.

When businesses are sold or tenants are changed, any sign modification shall trigger this requirement.



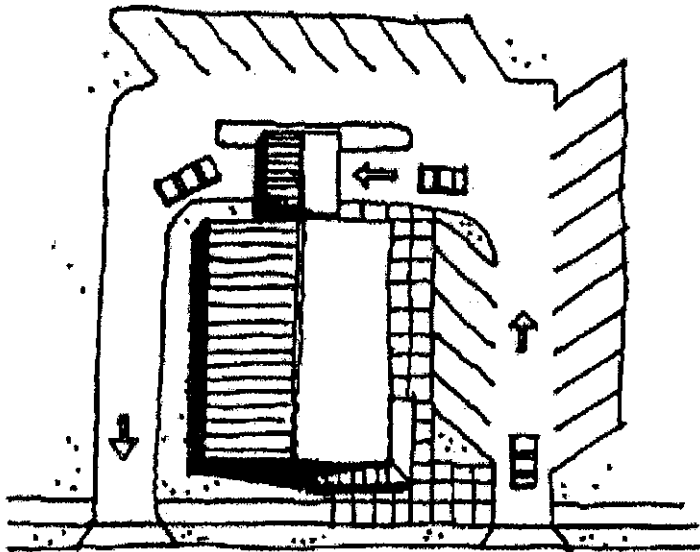
12

Intent:

To improve the pedestrian environment around buildings and minimize curb cuts.

Guideline:

Where a drive through facility is allowed, drive throughs must be in conjunction with a parking lot that serves the same business, must be to the side or rear of the building and should not be visible from public streets. Drive throughs should consist of no more than a single vehicle lane.



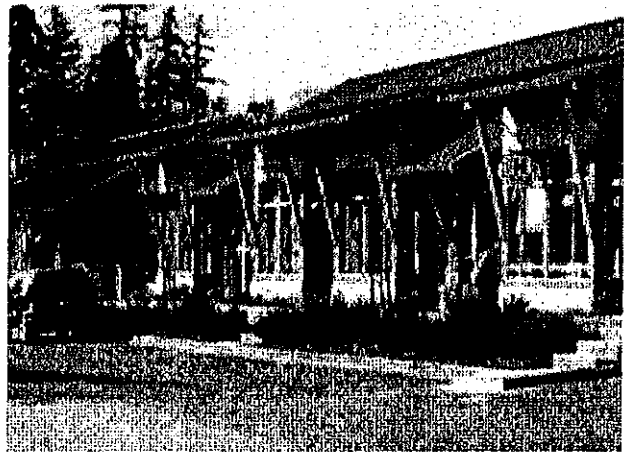
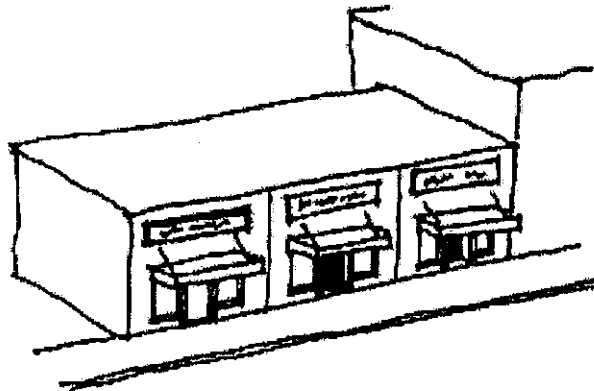
13

Intent:

To provide pedestrian access to buildings.

Guideline:

Provide multiple entrances along streets. Pedestrian passageways are encouraged.



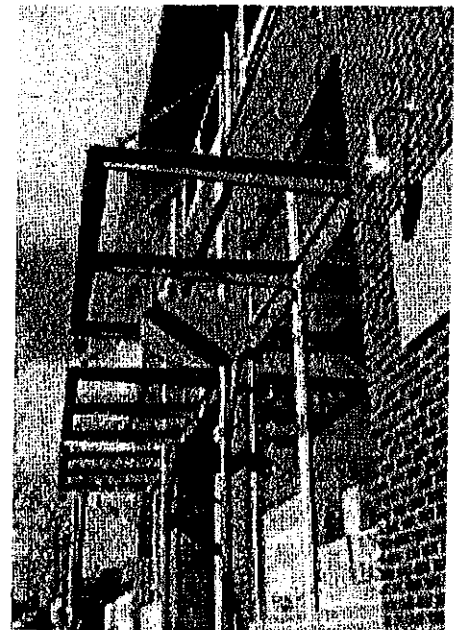
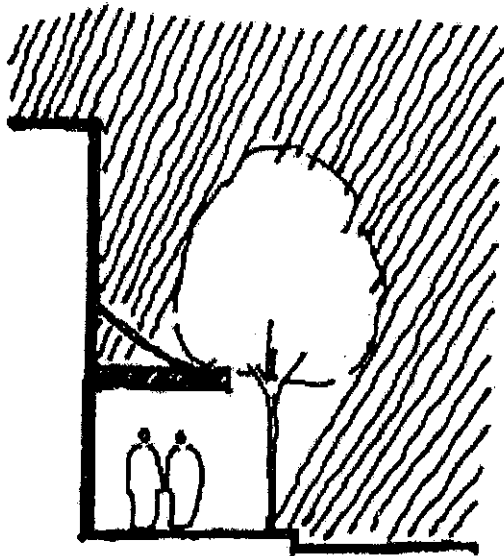
14

Intent:

To provide weather protection for pedestrians

Guideline:

Recessed entries and/or overhead weather protection above the sidewalk entrances shall be used.



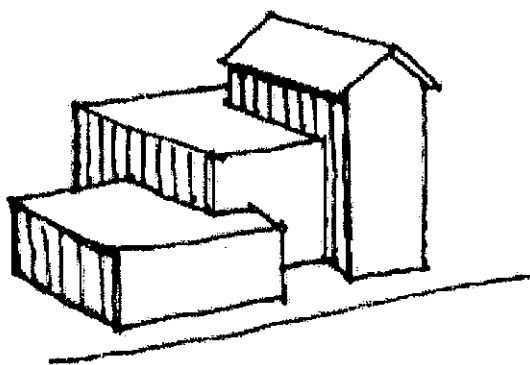
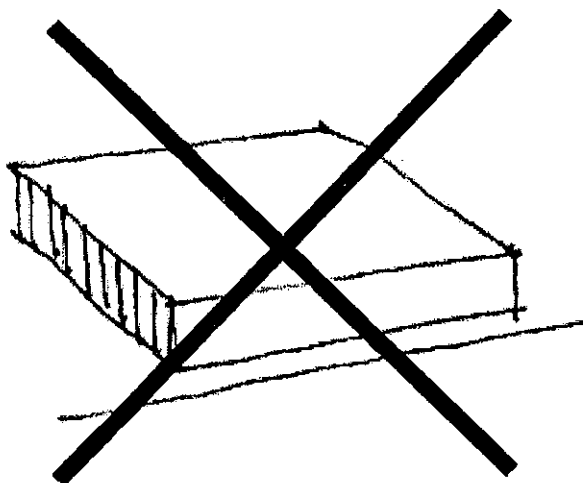
15

Intent:

To maintain smaller scale commercial buildings.

Guideline:

Buildings in excess of a 10,000 square foot footprint should be visually split into two or more distinct elements.



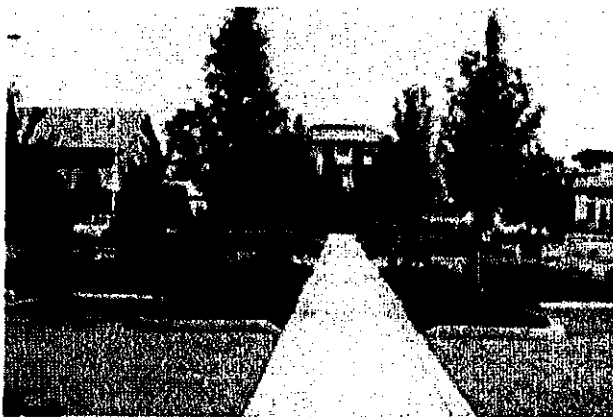
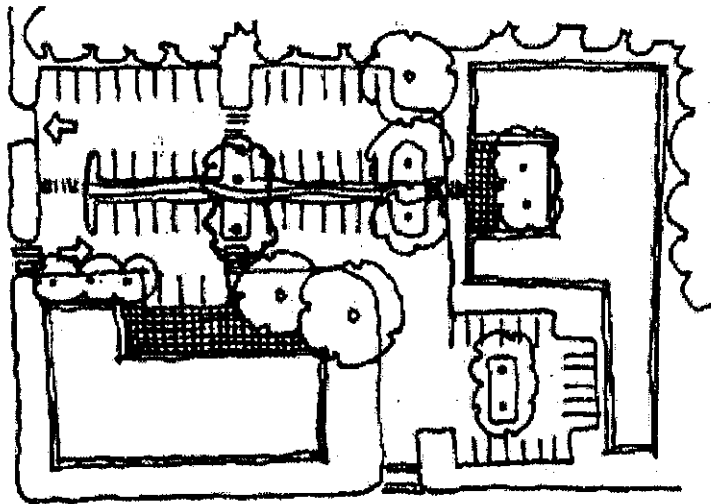
16

Intent:

To reduce the visual impact of parking areas.

Guideline:

Create small parking clusters connected by vegetated landscaping and pedestrian walkways. Internal streets that connect or serve parking areas shall be designed as streets with sidewalks, planters and pedestrian scale lighting.



1 Intent:

To ensure implementation of the adopted Lynwood Center Plan.

Guideline:

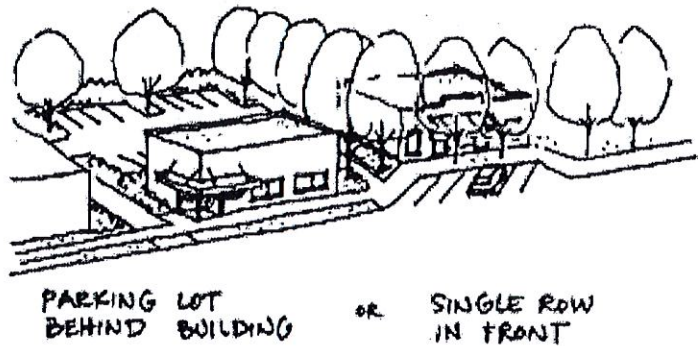
Any new proposals should be consistent with the adopted Lynwood Center plan

2 Intent:

To minimize the impact of parking lots

Guideline:

Parking shall be placed behind buildings or in a single row along the street.



3 Intent:

To encourage the continuance of the existing character of Lynwood Center.

Guideline:

The Tudor character should be retained with features such as pitched roofs, a mix of external materials, exposed timbering and small, mullioned windows. Restoration of the existing Tudor building is encouraged.



4 Intent:

To encourage multiple uses of sidewalks

Guideline:

7-10 foot wide sidewalks are encouraged, especially where sidewalk seating is anticipated.



1 Intent:

To ensure implementation of the adopted Island Center Plan.

Guideline:

Design guidelines will be consistent with the adopted Island Center Plan.



2 Intent:

To minimize the impact of parking lots.

Guideline:

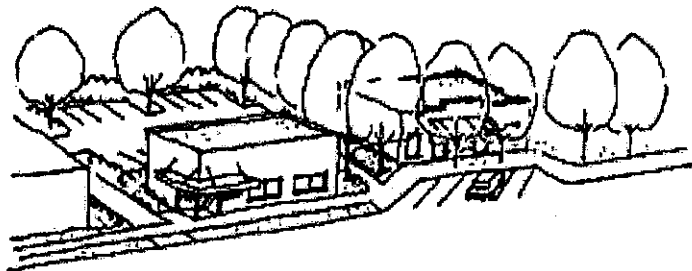
Parking should be behind buildings or in a single row in front of buildings.

3 Intent:

To limit the visual impact of parking.

Guideline:

Where parking is provided in front of buildings, a landscaping strip should be placed between arterials and the parking



4 Intent:

To improve pedestrian safety.

Guideline:

Parking is not allowed between the landscape strip and the arterials.

5 Intent:

To expand the mix of building types and uses.

Guideline:

Multi-storied, mixed use buildings are encouraged

1 Intent:

To encourage compatible development

Guideline:

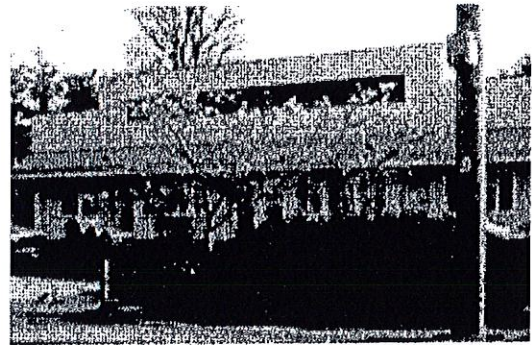
Development of a Special Planning Area plan in conjunction with local residents and property owners is recommended and encouraged. Design guidelines shall be consistent with the adopted plan.

2 Intent:

To encourage the continuance of the existing aesthetics of the area

Guideline:

Continue the scale and character of existing buildings.

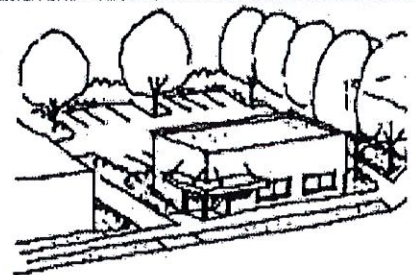


3 Intent:

To minimize the appearance of parking lots

Guideline:

Parking shall be behind buildings or in a single row along the street.



4 Intent:

To strengthen the designation of Rolling Bay as a Neighborhood Service Center.

Guideline:

Develop a public "green" at or near the intersection of Sunrise Drive and Valley Road



5 Intent:

To encourage pedestrian orientation.

Guideline:

Ground floor retail is preferred along the sidewalks.



Chapter 18.18 DESIGN STANDARDS AND GUIDELINES

Sections:

- 18.18.010 Applicability.**
- 18.18.020 Promoting sustainable development.**
- 18.18.030 Specific design regulations and guidelines.**

18.18.010 Applicability.

All development, exterior renovation and redevelopment shall comply with the following regulations and guidelines, as applicable. In some cases, design standards in this chapter may be waived or modified through the housing design demonstration program in BIMC 2.16.020.S. (Ord. 2011-02 § 2 (Exh. A), 2011)

18.18.020 Promoting sustainable development.

The site designs of all new development and redevelopment should accommodate energy-conserving and water-conserving technology and design principles providing for solar or other renewable energy production where possible. Low impact development principles require such measures as minimizing the extent of land disturbing activities and hard surfaces; preserving native vegetation, topography, and natural drainage patterns; and using LID BMPs such as cisterns, bioretention/rain gardens, and permeable pavement where feasible. (Ord. 2016-28 § 21, 2016; Ord. 2011-02 § 2 (Exh. A), 2011)

18.18.030 Specific design regulations and guidelines.¹

All development shall comply with the design regulations and guidelines applicable to that type of development as set forth in this section and the reference documents, which are adopted as part of this title by reference. In the event of a conflict between two or more design standards or regulations, the more specific shall apply.

A. Detached Single-Family Residential Developed Using the R-8SF Urban Single-Family Overlay District. Detached single-family residential developed in accordance with the R-8SF urban single-family overlay district transfer of development rights program shall comply with those regulations contained in "Design Guidelines for R-8SF Urban Single-Family Overlay District" if they want to develop at overlay zone densities.

B. Multifamily Residential. Multifamily development in the R-8 and R-14 zones shall comply with those regulations contained in "Design Guidelines for Multifamily"; provided, that applications submitted prior to December 8, 1999, shall not be subject to the requirements of this section.

C. Commercial and Mixed Use – General. Development, redevelopment, and exterior renovation in commercial and mixed use projects in all zoning districts except the B/I district shall comply with the general guidelines in "Guidelines for Commercial and Mixed Use Projects – Including Guidelines for Lynwood Center, Island Center, and Rolling Bay," as well as any specific guidelines applicable to that type of development in the subsections below.

D. Nonresidential Uses in Residential Zones. Educational, cultural, governmental, religious or health care facilities in residential zones shall comply with the general guidelines in "Design Guidelines for Commercial and Mixed Use Projects – Including Guidelines for Lynwood Center, Island Center, and Rolling Bay."

E. Mixed Use Town Center and High School Road Districts. Development, redevelopment, or exterior renovation in the Mixed Use Town Center overlay districts and the High School Road districts shall comply with regulations contained in "Design Guidelines for Mixed Use Town Center and High School Road Zoning Districts."

F. Lynwood Center NC Design Guidelines. Development, redevelopment, and exterior renovation in the Lynwood Center NC zone district shall comply with those regulations contained in the Lynwood Center NC-specific portion of "Guidelines for Commercial and Mixed Use Projects – Including Guidelines for Lynwood Center, Island Center, and Rolling Bay."

1. Street trees shall be provided in an amount equivalent to at least one every 30 feet in planting pots or beds covered by a tree grate, pavers or planted area. Structural grid systems with a minimum soil volume ratio of one cubic foot of soil per one square foot of tree canopy area are encouraged. Trees may be grouped and are encouraged to have a varied meandering effect. Tree size, location and species shall be approved by the city. See street tree diagram in Central Core Overlay District Design Guidelines (subsection E of this section).

G. Island Center NC Design Guidelines. Development, redevelopment, and exterior renovation in the Island Center NC zone district shall comply with those regulations contained in the Island Center NC-specific portion of "Guidelines for Commercial and Mixed Use Projects – Including Guidelines for Lynwood Center, Island Center, and Rolling Bay."

1. Street trees shall be provided in an amount equivalent to at least one every 30 feet in planting pots or beds covered by a tree grate, pavers or planted area. Structural grid systems with a minimum soil volume ratio of one cubic foot of soil per one square foot of tree canopy area are encouraged. Trees may be grouped and are encouraged to have a varied meandering effect. Tree size, location and species shall be approved by the city. See street tree diagram in Central Core Overlay District Design Guidelines (subsection E of this section).

H. Rolling Bay NC Design Guidelines. Development, redevelopment, and exterior renovation in the Rolling Bay NC zone district shall comply with those regulations contained in the Rolling Bay NC-specific portion of "Guidelines for Commercial and Mixed Use Projects – Including Guidelines for Lynwood Center, Island Center, and Rolling Bay."

1. Street trees shall be provided in an amount equivalent to at least one every 30 feet in planting pots or beds covered by a tree grate, pavers or planted area. Structural grid systems with a minimum soil volume ratio of one cubic foot of soil per one square foot of tree canopy area are encouraged. Trees may be grouped and are encouraged to have a varied meandering effect. Tree size, location and species shall be approved by the city. See street tree diagram in Central Core Overlay District Design Guidelines (subsection E of this section).

I. Business/Industrial District Design Guidelines.

1. Development, redevelopment, and exterior renovation of facilities in the B/I zone district shall comply with those regulations contained in "Design Guidelines for Light Manufacturing."
2. In addition, development, redevelopment, and exterior renovation of facilities in the B/I district shall be subject to the following requirements governing its relationship to adjoining and nearby uses. A proposed development must be sited and designed to minimize potential safety hazards to adjoining and nearby developments. Specifically, a project shall be designed in a manner that minimizes conflicts between vehicular and nonmotorized traffic. Additionally, a development shall be fenced and buffered, as necessary, to impede potentially dangerous travel between different types of uses, such as between a manufacturing operation and day care center. Outdoor operations, such as loading docks and playgrounds, shall be located as far away as possible from residences and other noise-sensitive uses.

J. Fort Ward Design Guidelines. Development, redevelopment, or exterior renovation in the Fort Ward historic overlay district shall comply with regulations contained in "Design Guidelines for Fort Ward." (Ord. 2017-02 § 1, 2017; Ord. 2016-28 § 21, 2016; Ord. 2016-01 § 2, 2016; Ord. 2013-07 § 1, 2013; Ord. 2011-02 § 2 (Exh. A), 2011)

¹Code reviser's note: The design guidelines cited in this section are located at the end of this title.

Mobile Version

