



DESIGN REVIEW BOARD
REGULARLY SCHEDULED MEETING
MONDAY, AUGUST 1, 2016
2:00 – 5:00 PM
COUNCIL CONFERENCE ROOM
280 MADISON AVE N
BAINBRIDGE ISLAND, WA 98110

AGENDA

- | | |
|---------|--|
| 2:00 PM | Call to Order (Attendance, Agenda, Ethics) |
| 2:05 PM | Approval of Minutes
June 20, 2016 |
| 2:10 PM | Wyatt Cottages (Permit No. PLN50165) Conceptual
Project Location: Wyatt Way and Madison Ave N
Project Manager: Josh Machen |
| 3:00 PM | Islandwood (Permit No. PLN10081PRE)
Project Location: 4450 Blakely Ave
Project Manager: Josh Machen |
| 4:00 PM | New/Old Business |
| 4:10 PM | Adjourn |

All permit application documents may be viewed by entering the permit number on the City's Online Permit Center here:

<https://ci-bainbridgeisland-wa.smartgovcommunity.com/ApplicationPublic/ApplicationSearchAdvanced>.

(Please use the permit prefix when searching, i.e., PLN50165.)

For special accommodations, please contact Jane Rasely, Planning & Community Development 206-780-3758 or at jrasely@bainbridgewa.gov

Call to Order (Attendance, Agenda, Ethics)
St. Barnabas Annex Replacement (PLN50466PRE)
Discussion of DRB Scope of Work
New/Old Business
Adjourn

Call to Order (Attendance, Agenda, Ethics)

The meeting was called to order by Chair Alan Grainger at 2:05 PM. Design Review Board Members in attendance were Chuck Depew, Peter Perry and Jeffrey Boon. Chris Gutsche and Jim McNett were absent and excused. City Staff present were Planning Director Gary Christensen, City Planner Kelly Tayara and Administrative Specialist Jane Rasely who monitored recording and prepared minutes.

The agenda was reviewed. There were not any conflicts of interest.

St. Barnabas Annex Replacement (PLN50466PRE)

Introductions were performed by the Design Review Board (DRB), Staff and Citizens representing St. Barnabas Church. Architect Devin Johnson provided information about the project stating they were planning on staying within the same basic footprint, but were adding 1300 square feet to the administrative space in order to include an elevator and allow for more office space. Mr. Johnson also described some enhancements to the landscaping that would be made although the overall landscaping of the memorial courtyard would stay the same. Pictures of the building were passed around. Chair Grainger asked City Planner Kelly Tayara if the City had any concerns about the project. She stated there were not really any concerns except for water and sewer availability. Mr. Boon remarked that it looked as though they were trying to make the administrative part of the building blend into the look of the church itself. Mr. Grainger thought that instead of adding masonry on the Wyatt Way façade of the church, they might want to add more masonry to the entrance area where people will be up close to it. He felt that might increase the cloister-like feel. He went on to say that the currently planned site for the masonry was covered by landscape buffer, it would not make the impact it could in the entrance courtyard which faced a public street without a landscape buffer. Mr. Perry asked what type of architecture the church was built with. Reverend Tierney stated it was an English Chancellery. He also mentioned the buildings they were replacing were the original Winslow USO halls that were trucked up to the church as a temporary solution until enough money could be raised to replace them.

Mr. Johnson stated they would be putting together a landscape plan and then they would be back. There was appreciation from the DRB for what had been planned thus far.

Discussion of DRB Scope of Work

City Councilman Ron Peltier opened discussion of the topic with the request to hear what the DRB members thought of expanding their role. He stated he saw the DRB role as very important, especially since they were the first public meeting with minutes on a project. Mr. Peltier said he wanted to come up with a proposal to take to Council. Mr. Depew thought the DRB should be more involved with public buildings and that there was still a struggle as to the DRB process. He said they sometimes felt pressed for time on a project they felt needed more conversation. He also would have liked to see the City's Code be stronger. Mr. Christensen asked if he felt the Code should be more proscriptive or more flexible. Mr. Depew stated his experience with the City was that the more experienced the staff, the more flexible the Code could be. He felt right now the City Code needed to be more proscriptive because sometimes it was not clear.

Mr. Depew left the meeting at 2:38 PM leaving only 3 DRB members in attendance at the meeting. This was also Mr. Depew's last meeting as a Design Review Board Member. Gratitude was expressed from the remaining members with a promise to keep advocating for ADA concerns while reviewing projects.

Mr. Grainger continued the conversation speaking about flexibility and his concern that there was not just a need for flexibility in the Code, but also in the way of thinking. Mr. Perry said he thought they should be able to say, "This is the rule, but in this case, we feel this should be allowed because..." He then wanted to know if they made a recommendation like that, would it be heard. Mr. Grainger stated DRB recommendations went to the PCD Director and it was up to the Director as to whether they acted on their recommendations.

Mr. Christensen shared his plans for a representative group to study the DRB role and discuss managing growth in the appropriate way at the appropriate scale. He went on to say this was good timing because the City was in the middle of updating the Comprehensive Plan and that provided a clear opportunity for re-evaluation. He felt there were opportunities to be proscriptive, yet flexible. The DRB collectively decided they wanted to be involved with long plats (a subdivision with 5 or more plats).

Mr. Grainger felt convening a panel was a great idea and could be framed as a positive look at the future framework for the DRB. Mr. Perry felt the City needed a parking study. Mr. Boon wanted to see a visual outline of what they wanted the City to look like. Mr. Christensen mentioned that a lot of jurisdictions were moving away from written design criteria to a picture-book based criteria. Mr. Perry thought it might be a good idea to get a group of Island architects together to have a say in how the Island should be developed and look. Mr. Grainger thought it would be better to have a professional firm come in to update the Design Guidelines and suggested a pattern of evaluating the guidelines for 5-10 minutes after each project review to

develop an evolving critique on the guidelines and see patterns that might emerge during the review process.

Mr. Perry mentioned single level senior housing was a need while Mr. Grainger mentioned public buildings and City buildings/building sites as types of projects that should be brought to the DRB. Urban design and the overall picture of the City were discussed.

New/Old Business

None.

Adjourn

The meeting was adjourned at 4:17 PM.

Approved by:

Alan Grainger, Chair

Jane Rasely, Administrative Specialist



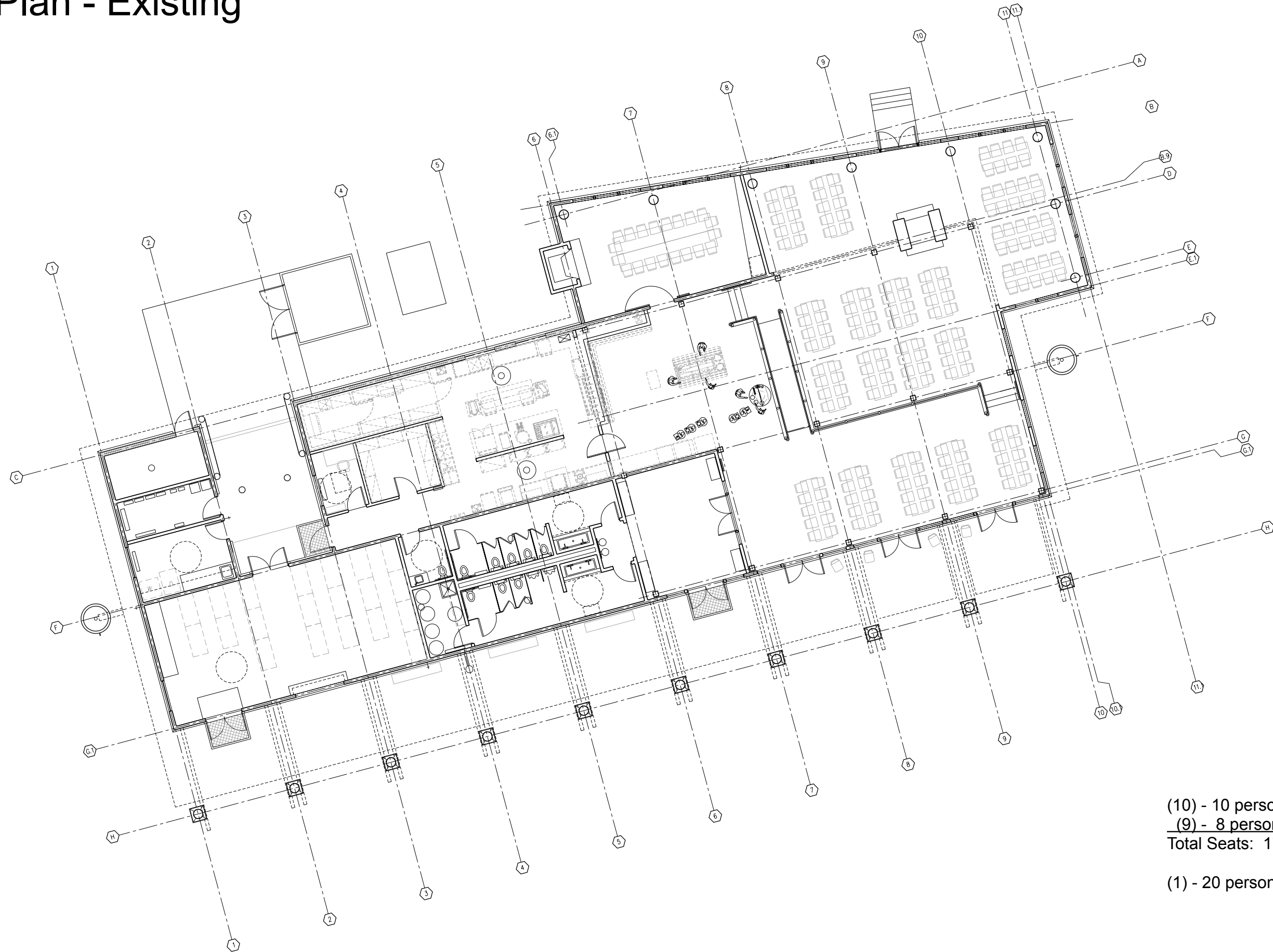


Imagery ©2016 Google, Map data ©2016 Google 100 ft



ISLANDWOOD DINING HALL EXPANSION - SOUTHEAST VIEW

Floor Plan - Existing



(10) - 10 person tables
(9) - 8 person tables
Total Seats: 172 seats

(1) - 20 person private dining

Floor Plan - Go South



(9) - 8 person tables
 (22) - 10 person tables
 Total Seats: 292 seats

(1) - 20 person private dining

- 1,835 square feet added
- Maintain Fireplace and chimney
- Provide presenter alcove
- Create new south terrace

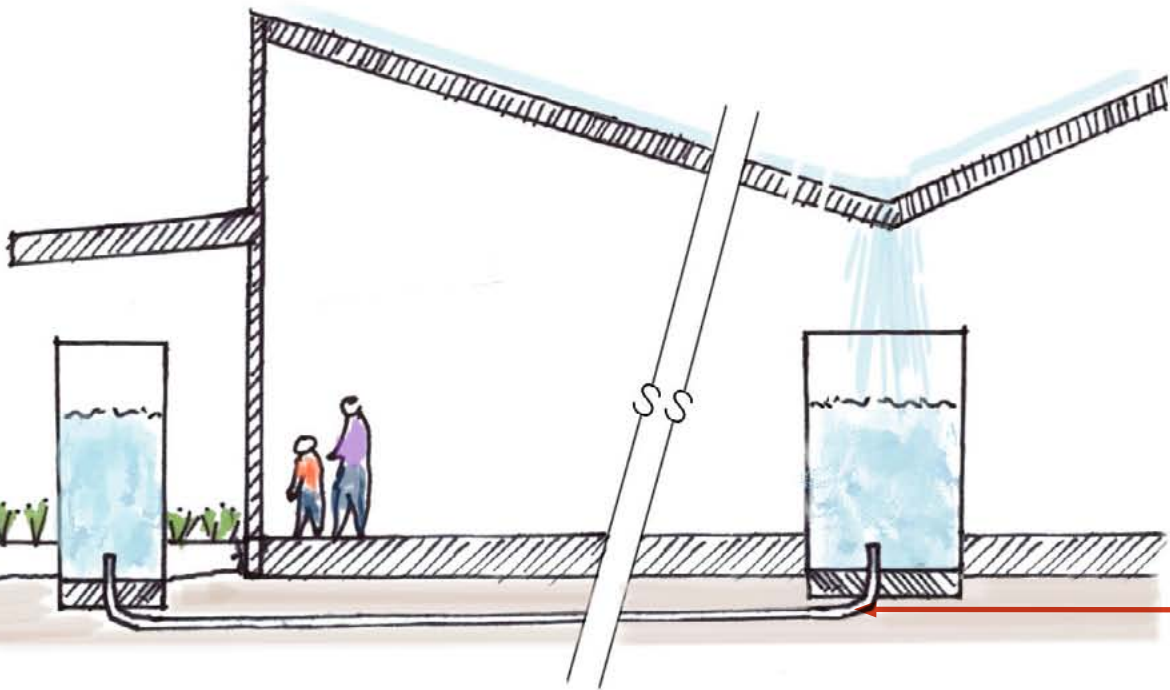
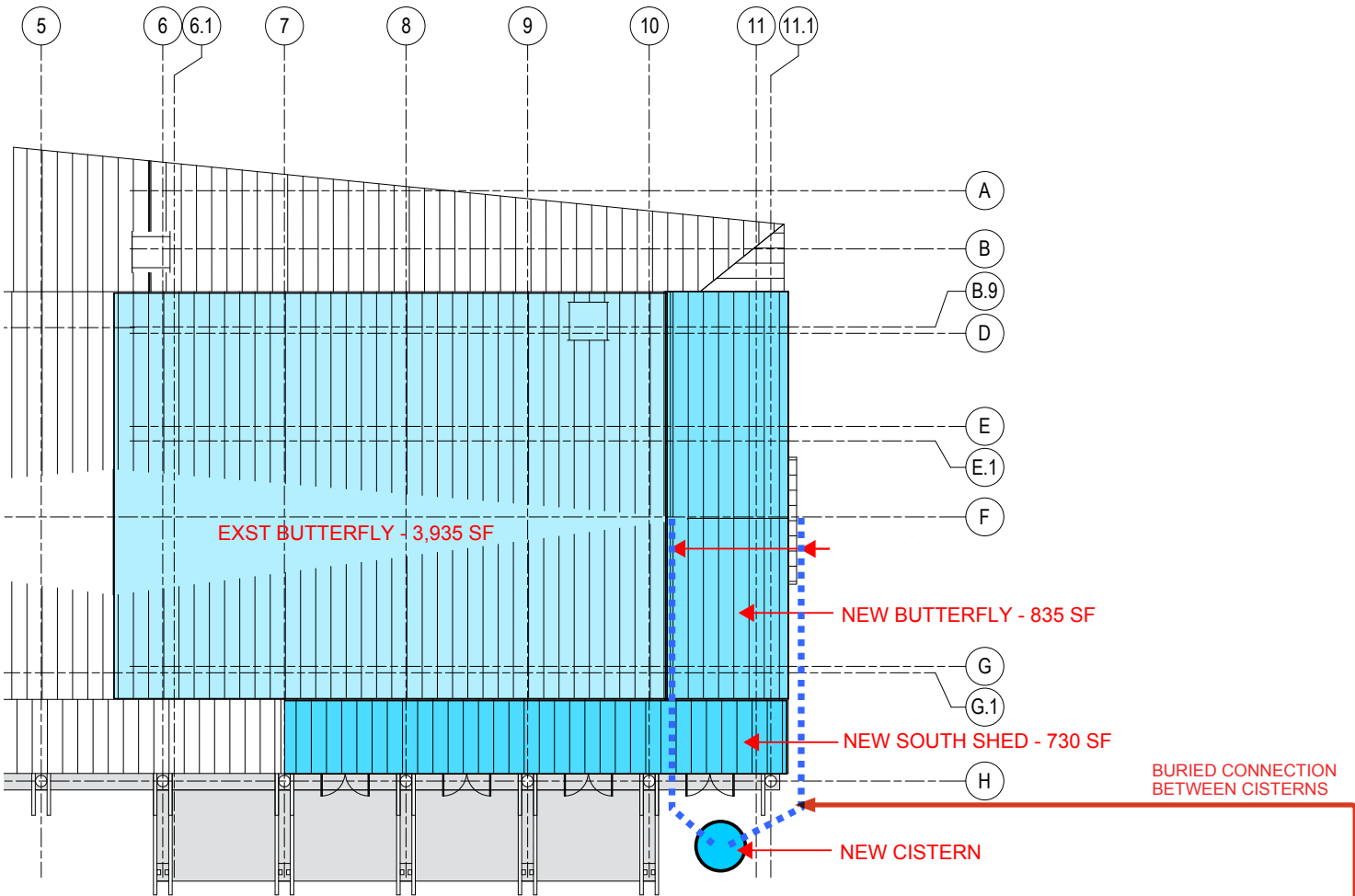
DINING HALL SOUTH TERRACE + RAINGARDEN



DINING HALL SOUTH TERRACE + RAINGARDEN



INTERACTIVE FEATURES



RAINGARDEN + CISTERN SECTION

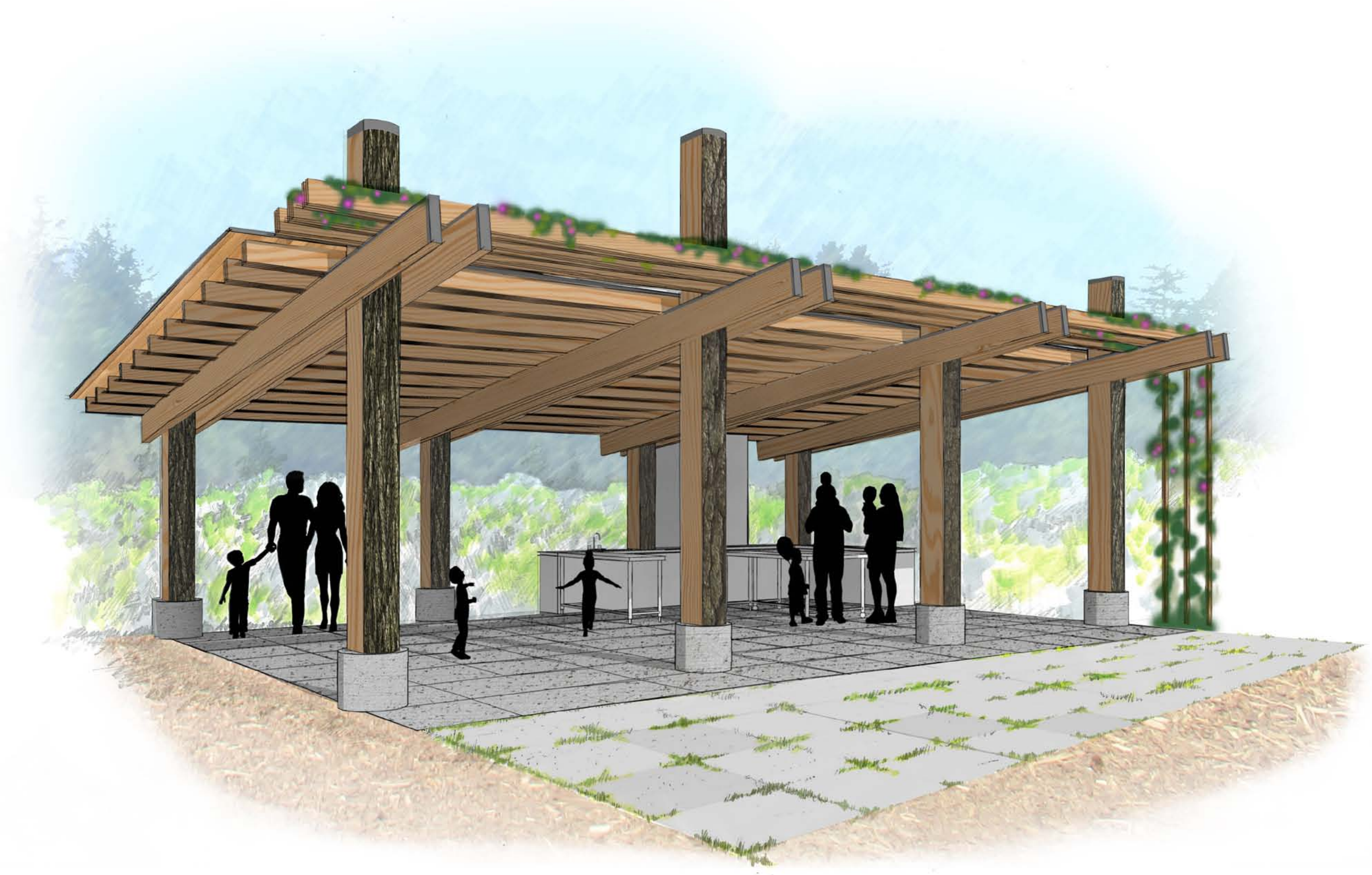


SEAT WALL | WEIR MATERIAL

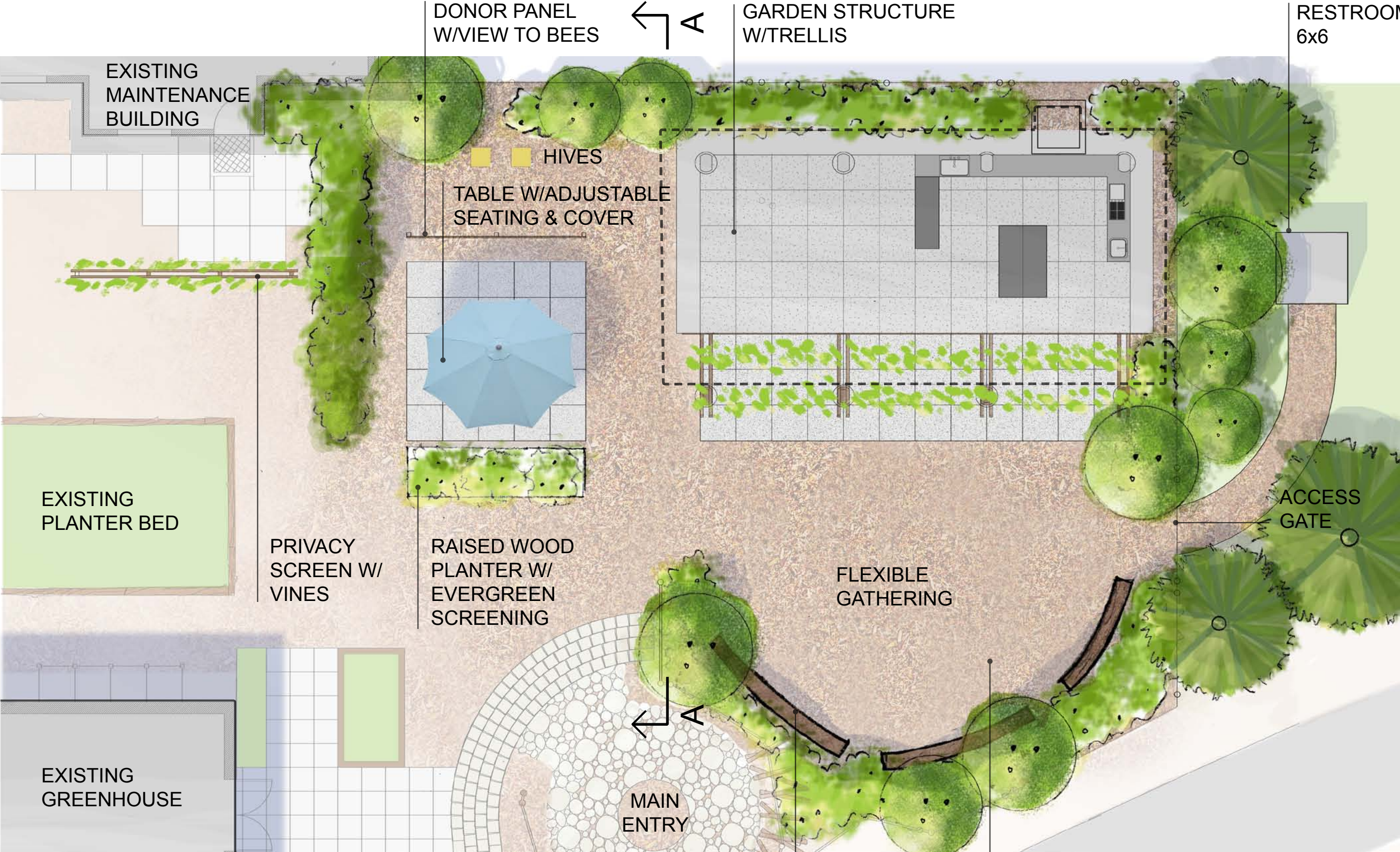


RAINGARDEN PLANTING + WEIRS

GARDEN STRUCTURE CONCEPT | PERSPECTIVE



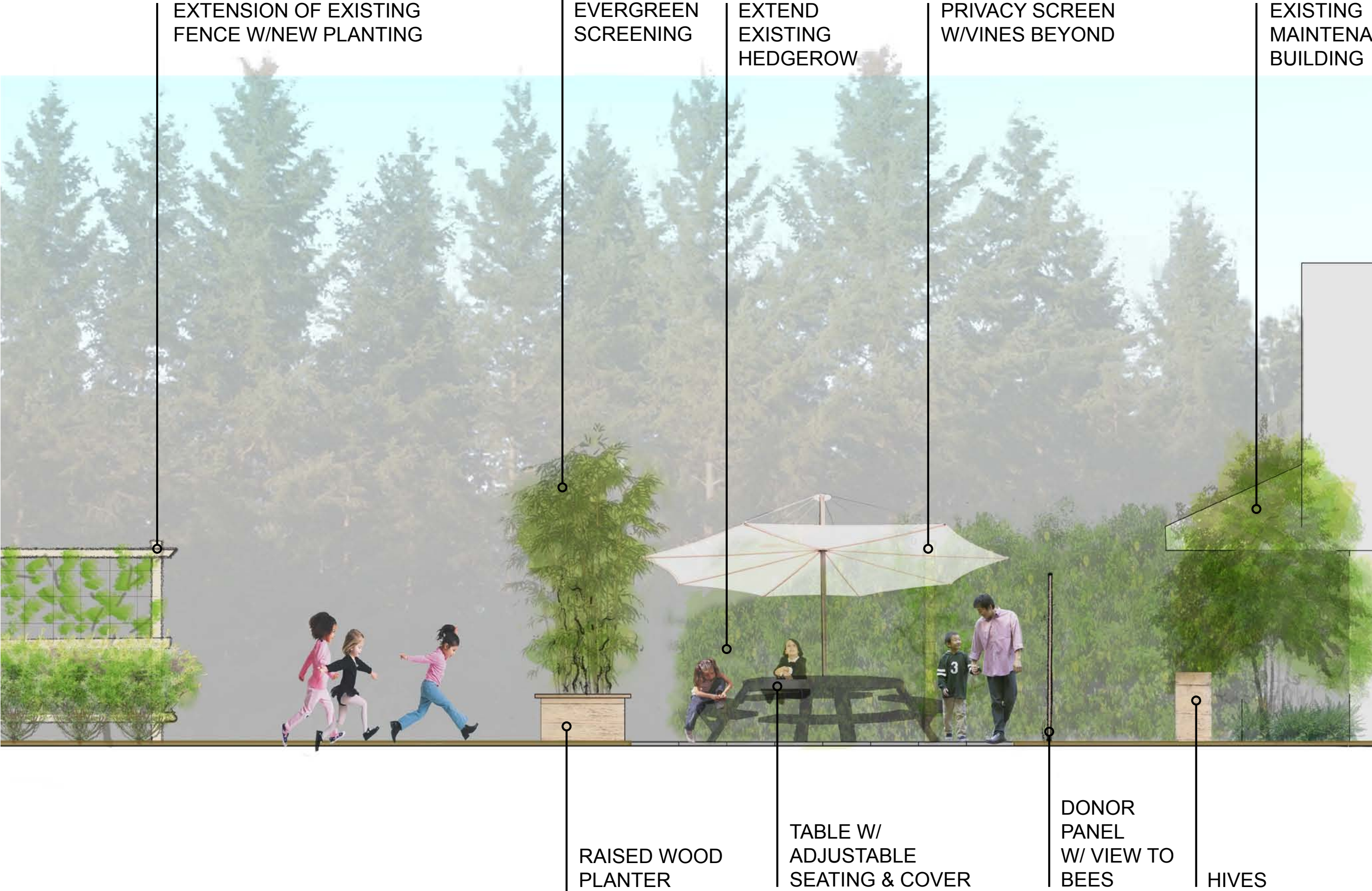
GARDEN STRUCTURE CONCEPT | SITE PLAN



N

0 4' 8'

GARDEN STRUCTURE CONCEPT | EAST ELEVATION



SEATTLE / Pier 56, 1201 Alaskan Way, #200
Seattle, WA 98101 / 206.623.3344

SAN FRANCISCO / 660 Market Street, #300
San Francisco, CA 94104 / 415.956.0688

mithun.com

PROJECT
DINING HALL AND
KITCHEN EXPANSION

LOCATION
4450 BLAKELY AVE NE
BAINBRIDGE ISLAND,
WA

PREPARED FOR
ISLANDWOOD

NO. DATE REVISION

PROJECT DIRECTOR

RF

PROJECT MANAGER

LM

PROJECT ARCHITECT

DF

PROJECT DESIGNER

PROJECT TEAM MEMBERS

DJ

CHECK

TITLE
PROJECT INFORMATION

PROJECT NO.

1422300

DATE

08/01/16

SHEET NUMBER

G-0.01

SD

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PLN-10080 - ISLANDWOOD UPDATES

PROJECT VISION SUMMARY

PROJECT CONSISTS OF THE FOLLOWING;
- DINING AREA (1,532SF) AND KITCHEN (540SF) ADDITIONS TO EXISTING DINING HALL (7,990SF), CONSTRUCTED IN 1999. NEW ADDITIONS TO MATCH EXISTING BUILDING FORM, MATERIALS, AND USE.
- ENCLOSURE OF EXISTING COMPOST SHELTER (577SF), CONSTRUCTED IN 1999. AN EXISTING OPEN STRUCTURE TO BE ENCLOSED WITH A NEW EXTERIOR ENVELOPE TO MATCH MATERIALS OF ADJACENT EXISTING DINING HALL. TO BE RENAMED OPERATIONS STORAGE.
- CONSTRUCTION OF NEW GARDEN SHELTER (704SF). OPEN STRUCTURE TO BE CONSTRUCTED OF EXPOSED HEAVY TIMBER FRAMING AND METAL ROOF, SIMILAR TO EXISTING STURCTURES ON SITE.

VICINITY MAP

ISLANDWOOD

4450 BLAKELY AVENUE NE
BAINBRIDGE ISLAND, WA 98110



NOT FOR CONSTRUCTION

ORIGINAL SHEET SIZE 24" x 36"

LOCATION
**4450 BLAKELY AVE NE
BAINBRIDGE ISLAND,
WA**

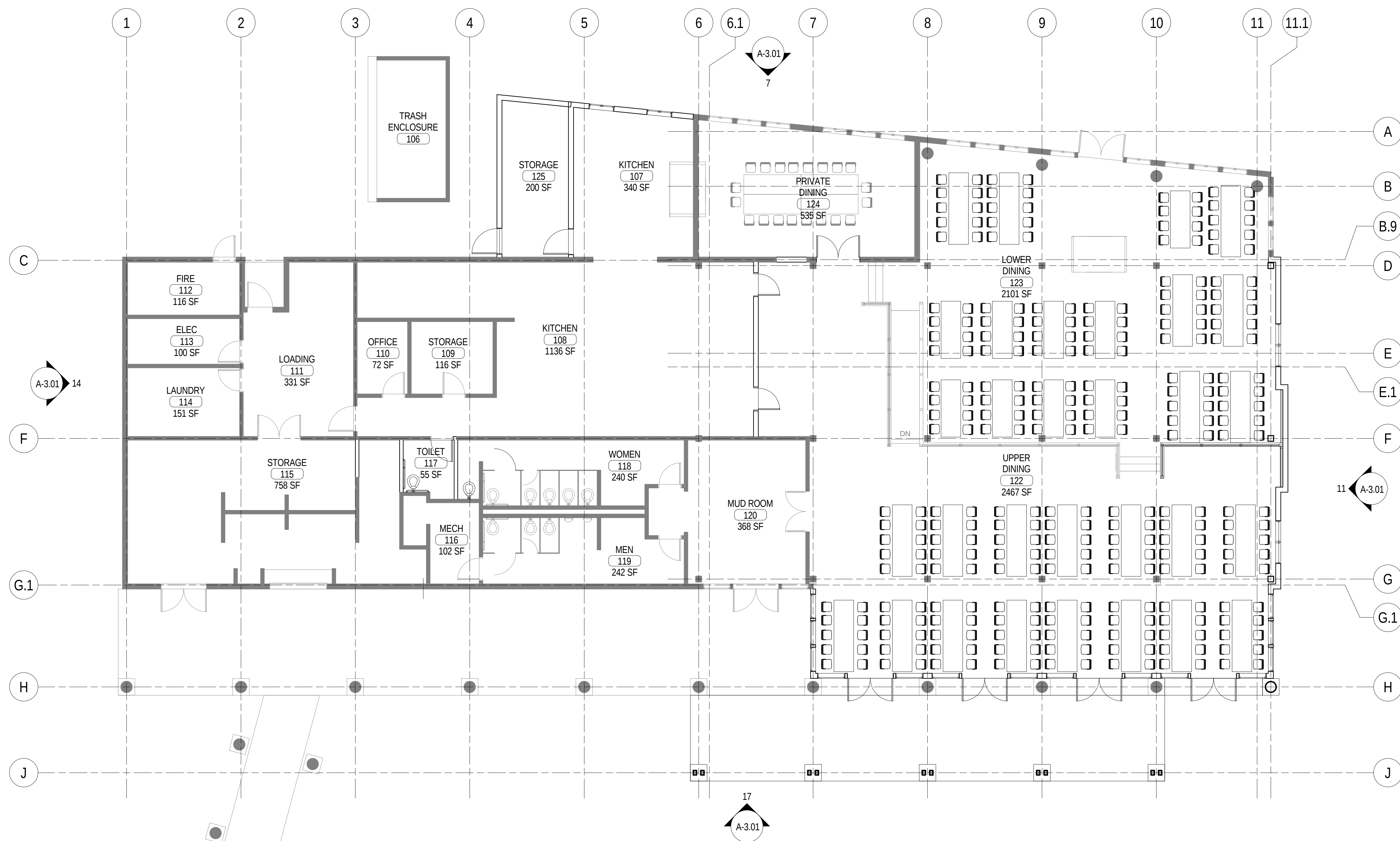
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PROJECT TEAM MEMBER
DJ
CHECK

PROJECT NO.
1422300
DATE
08/01/16

SHEET NUMBER

A-2.01
SD
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17 FIRST FLOOR - DINING HALL - DRB PRE-APP
1/8" = 1'-0"

0 4' 8' 16'

Scale: 1/8" = 1'-0"

PROJECT
NORTH



NOT FOR CONSTRUCTION

7/25/2016 11:34:32 AM

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PROJECT

DINING HALL AND
KITCHEN EXPANSION

LOCATION

4450 BLAKELY AVE NE
BAINBRIDGE ISLAND,
WA

PREPARED FOR

ISLANDWOOD

NO. DATE REVISION

PROJECT DIRECTOR

RF

PROJECT MANAGER

LM

PROJECT ARCHITECT

DF

PROJECT DESIGNER

PROJECT TEAM MEMBERS

DJ

CHECK

TITLE

BUILDING ELEVATIONS

PROJECT NO.

1422300

DATE

08/01/16

SHEET NUMBER

A-3.01

SD

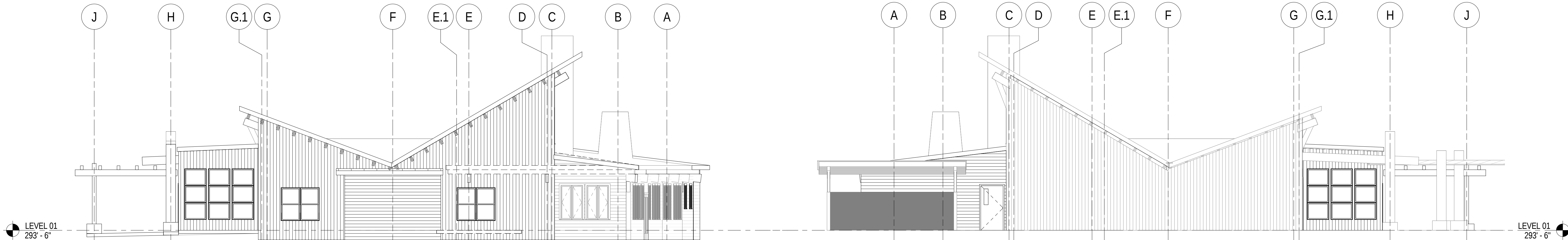
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7 NORTH ELEVATION - DINING HALL

1/8" = 1'-0"

0 4' 8' 16'
Scale: 1/8" = 1'-0"



11 EAST ELEVATION - DINING HALL

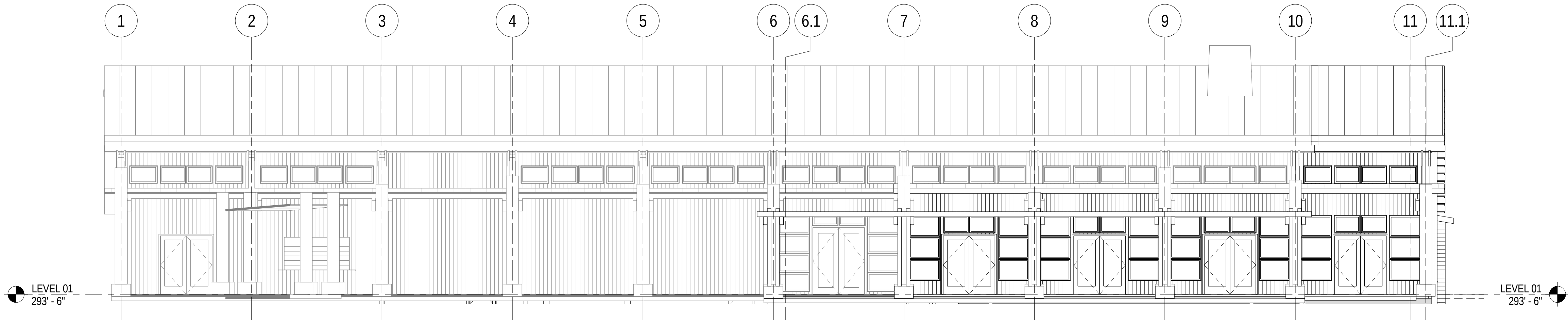
1/8" = 1'-0"

0 4' 8' 16'
Scale: 1/8" = 1'-0"

14 WEST ELEVATION - DINING HALL

1/8" = 1'-0"

0 4' 8' 16'
Scale: 1/8" = 1'-0"



17 SOUTH ELEVATION - DINING HALL

1/8" = 1'-0"

0 4' 8' 16'
Scale: 1/8" = 1'-0"

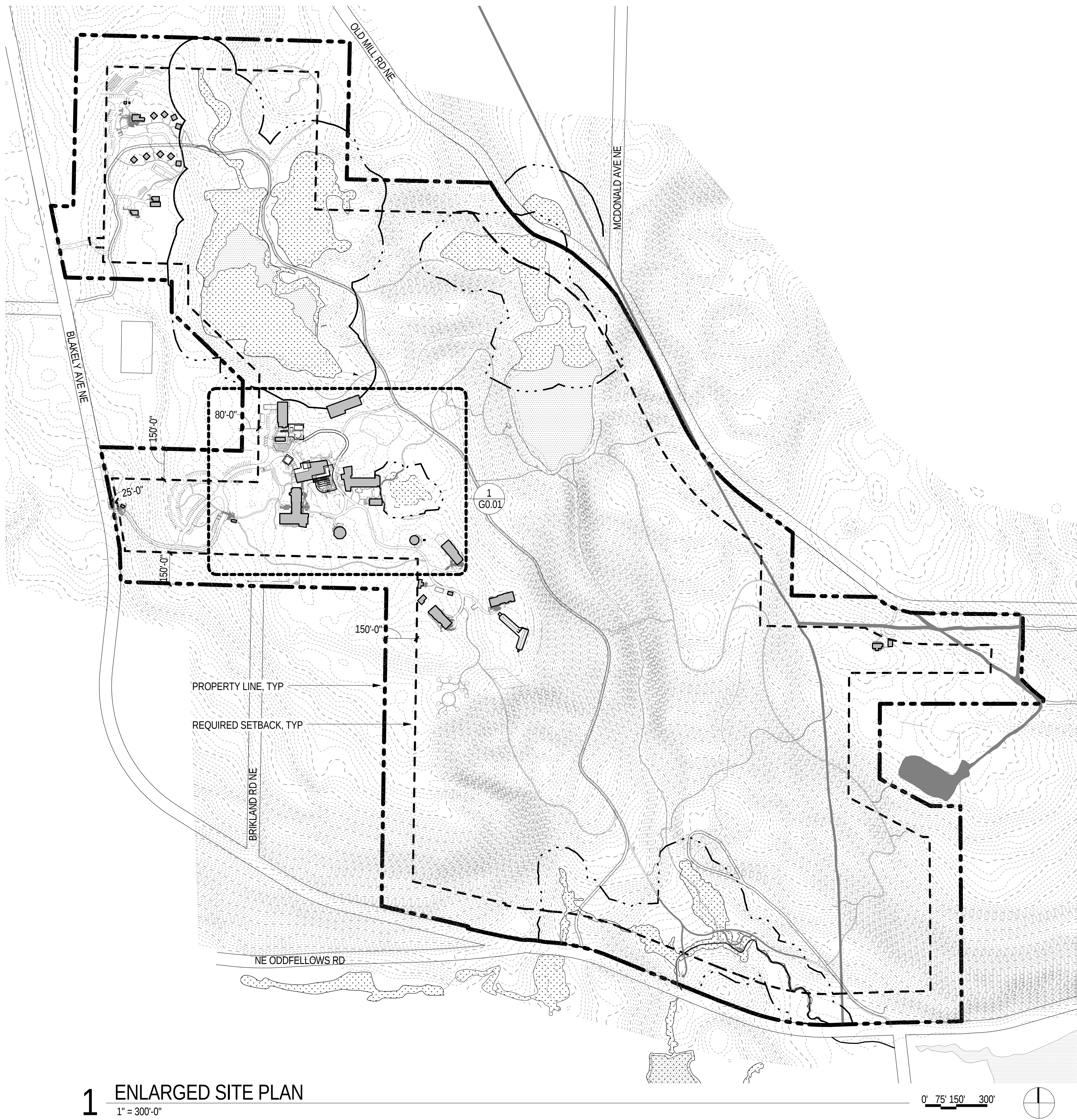
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ORIGINAL SHEET SIZE 24" x 36"



SD
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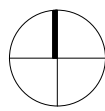




1 ENLARGED SITE PLAN

$$1'' = 300'-0''$$

0' 75' 150' 300'



LEGAL DESCRIPTION: SECTION 3, T24N, R02E, Q.M.
TAX LOT NUMBER: 032402-1-033-2002

SEATTLE / Pier 56, 1201 Alaskan Way, #200
Seattle, WA 98101 / 206.623.3344

SAN FRANCISCO / 660 Market Street, #300
San Francisco, CA 94104 / 415.956.0688

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PROJECT
GARDEN STRUCTURE &
DINING HALL
EXPANSION
LOCATION
4450 BLAKELY AVE NE
BAINBRIDGE IS. WA
98110

PREPARED FOR
ISLANDWOOD

[illegible]

PROJECT DIRECTOR

RF

PROJECT MANAGER

LM

PROJECT LANDSCAPE ARCHITECT

PROJECT TEAM MEMBERS

CHECK

LANDSCAPE ARCHITECT SEAL

TITLE

OVERALL SITE PLAN

PROJECT NO.
1422300
DATE
08/01/16

SHEET NUMBER
G0.00
SCHEMATIC DESIGN
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ORIGINAL SHEET SIZE 24" x 36"

PROJECT
**GARDEN STRUCTURE &
DINING HALL
EXPANSION**
LOCATION
**4450 BLAKELY AVE NE
BAINBRIDGE IS. WA
98110**

PREPARED FOR
ISLANDWOOD

[illegible]

PROJECT DIRECTOR

RF

PROJECT MANAGER

LM

PROJECT LANDSCAPE ARCHITECT

PROJECT TEAM MEMBERS

CHECK

LANDSCAPE ARCHITECT SEAL

TITLE
ENLARGED SITE PLAN

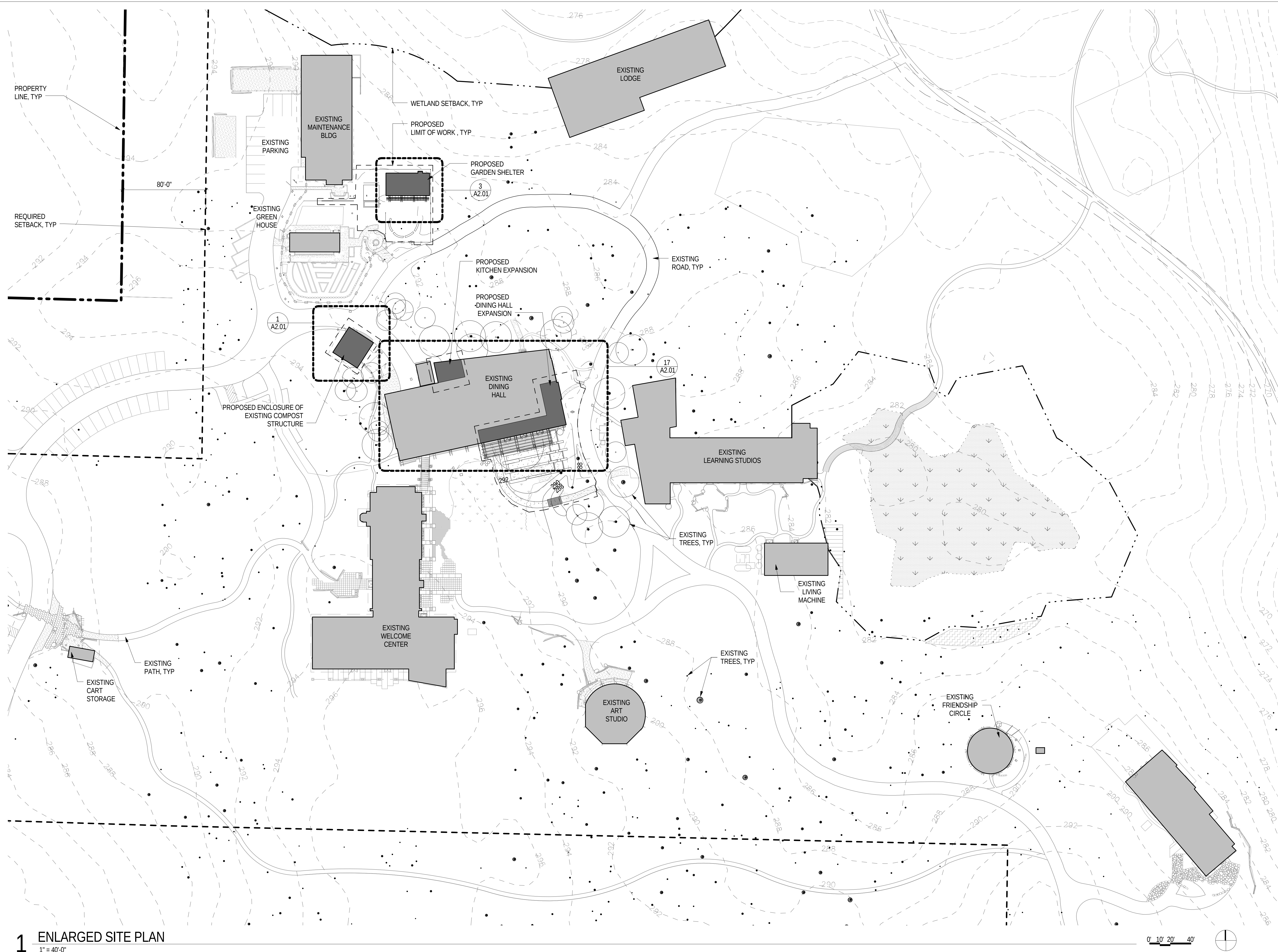
PROJECT NO.
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DATE
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G0.01

SCHEMATIC DESIGN

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Design Review Board Design Guideline Checklist

Commercial and Mixed-Use Design Guidelines for All Zoning Districts– BIMC 18.18.030

☐ “Pre-App” Meeting Checklist

☐ “Post-App” Meeting Checklist

Project Name/Case #: PLN0081 – Islandwood Updates

Land Use Application
(Pre-app, Site Plan
Review etc.):

Design Review Board Pre-Application Project Review

Project Description:

Expand existing Dining Hall building, enclose existing Compost Shelter to create an Operations Storage building, and construct new Garden Shelter to replace existing.

Applicable Design Guidelines				
Design Guideline	Intent	Description	Applicant Response	DRB Action (Y/N)
1.	To develop variation in façade treatment to provide visual interest.	Vary building materials or patterns to produce variations in texture.	Existing buildings provide variations in texture vis building form, materials, and rooflines. The proposed project intends to enhance and maintain these elements.	
2.	To modulate the scale of building masses.	Building elevations shall be vertically modulated in no more than 20’ increments or horizontally in no more than 30’ increments. Modulation is defined as a change in plane or articulation (such as bands, cornices, setbacks or changes in material).	Existing buildings are vertically and horizontally modulated by roof overhangs, walkway canopies, and material changes. The proposed project intends to enhance and maintain these elements.	

Design Review Board Design Guideline Checklist

Commercial and Mixed-Use Design Guidelines for All Zoning Districts– BIMC 18.18.030

Applicable Design Guidelines				
Design Guideline	Intent	Description	Applicant Response	DRB Action (Y/N)
3.	To limit the visual impact of blank walls and facades and better assure aesthetic appeal.	Blank walls shall not be visible to public spaces. Blank facades should otherwise be limited to the back of buildings or where required by the building code. Treatments to alleviate blank walls shall be similar in materials to facades normally in view of the public.	All facades of existing buildings feature windows and doors. There are no blank walls proposed at the Dining Hall or Garden Shelter. The Operations Storage building will feature three walls without doors or windows, none of which are visible from public spaces.	
4.	To establish visually prominent ground floor facades.	The first floor of multi-storied buildings should be taller than upper floors. Minimum ceiling height should be at least 10' to allow transom or larger display windows. Other elements such as transom windows, canopies, cornices, and prominent entries are encouraged. First floor uses shall be pedestrian oriented and include substantial shop windows. Display windows on the first floor of retail and commercial buildings should be the predominant surface of the first floor.	There are no proposed buildings of more than one story.	
5.	To maintain pedestrian scale along facades facing public ways.	Facades facing public ways shall incorporate setbacks or articulation that establishes a pattern of bays or window openings. Facades shall include features such as display windows, columns or bays, recessed entries or canopies or other recesses. The use of a variety of materials at the sidewalk level is encouraged. Multiple building entrances are encouraged.	There are no existing or proposed facades facing public ways.	

Design Review Board Design Guideline Checklist

Commercial and Mixed-Use Design Guidelines for All Zoning Districts– BIMC 18.18.030

Applicable Design Guidelines				
Design Guideline	Intent	Description	Applicant Response	DRB Action (Y/N)
6.	To maintain the pedestrian activities by encouraging continuous frontages along sidewalks.	Where parking fronts onto a public street, the maximum separation between buildings shall be 80 feet. Greater separations are permitted if landscape setbacks are increased or other design features such as low walls, trellises and public spaces are created along the street frontage.	No parking exists or is proposed fronting a public street.	
7.	To reduce overall scale of the building into multiple building masses.	Facades over 128' in length shall be separated by pedestrian passage or open space. Passages should be at least 12' wide and two stories in height if covered. Façade setback should be expressed at the roof line by changes in plane. Passage should connect to public open space.	Existing Dining Hall is 145' long. Proposed to increase to 160' long. No pedestrian passage or open space is provided as the Dining Hall is not on a public way.	
8.	To encourage the creation of public outdoor spaces.	Building setbacks may be increased for the creation of public outdoor seating areas. Entry alcoves and small outdoor spaces may be located between the building and the sidewalk.	Existing and proposed buildings do not front a public sidewalk and are not accessible to the public.	
9.	To soften the impact of the built environment.	Encourage public pedestrian passageways and vegetation between buildings.	There is an existing pedestrian passageway between Dining Hall and adjacent building. Existing vegetation to be maintained or proposed vegetation to be provided.	
10.	To encourage compatibility of development with both community and neighborhood characteristics.	Building designs should respond to nearby buildings that meet the upgraded design standards by using shared elements, materials or massing.	Nearby buildings are not visible from the existing and proposed buildings.	

Design Review Board Design Guideline Checklist

Commercial and Mixed-Use Design Guidelines for All Zoning Districts– BIMC 18.18.030

Applicable Design Guidelines				
Design Guideline	Design Guideline	Design Guideline	Design Guideline	Design Guideline
11.	To minimize the intrusiveness of commercial signage.	Signage, corporate colors and other icons of the business may not dominate the exterior of the building. including canopies and separate outdoor structures covering activities associated with the business. Color should be used to express changes in detail or material but exterior building or structure colors may not be used as signs, or the extension of signs. When businesses are sold or tenants are changed, any sign modification shall trigger this requirement.	No signage is proposed with this project.	
12.	To improve the pedestrian environment around buildings and minimize curb cuts.	Where a drive through facility is allowed, drive throughs must be in conjunction with a parking lot that serves the same business, must be to the side or rear of the building and should not be visible from public streets. Drive throughs should consist of no more than a single vehicle lane.	No drive through facility is proposed with this project.	
13.	To provide pedestrian access to buildings.	Provide multiple entrances along streets. Pedestrian passageways are encouraged.	Existing and proposed buildings do not front a street.	
14.	To provide weather protection for pedestrians.	Recessed entries and/or overhead weather protection above the sidewalk entrances shall be used.	Existing and proposed buildings do not front a sidewalk.	
15.	To maintain smaller scale commercial buildings.	Buildings in excess of a 10,000 square foot footprint should be visually split into two or more distinct elements.	No buildings in excess of 10,000 square feet are proposed.	

Design Review Board Design Guideline Checklist
Commercial and Mixed-Use Design Guidelines for All Zoning Districts– BIMC 18.18.030

Applicable Design Guidelines				
Design Guideline	Design Guideline	Design Guideline	Design Guideline	Design Guideline
16.	To reduce the visual impact of parking areas.	Create small parking clusters connected by vegetated landscaping and pedestrian walkways. Internal streets that connect or serve parking areas shall be designed as streets with sidewalks, planters and pedestrian scale lighting.	Existing parking lot is not visible from public way. No new work is proposed at the existing parking lot.	

**Guidelines Requiring
Action per DRB:**

**DRB Summary Motion
on Actions:**
